# PRELIMINARY & FINAL SITE PLAN

- FOR -

933 ROUTE 22 WEST, LLC

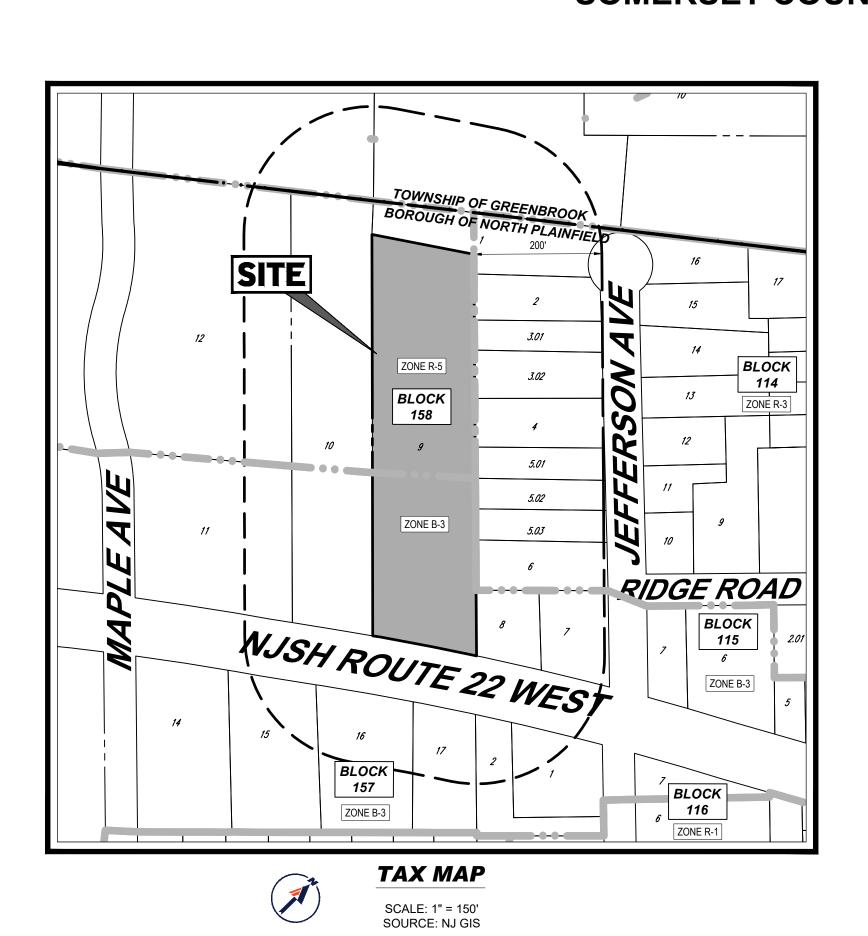
**PROPOSED** 

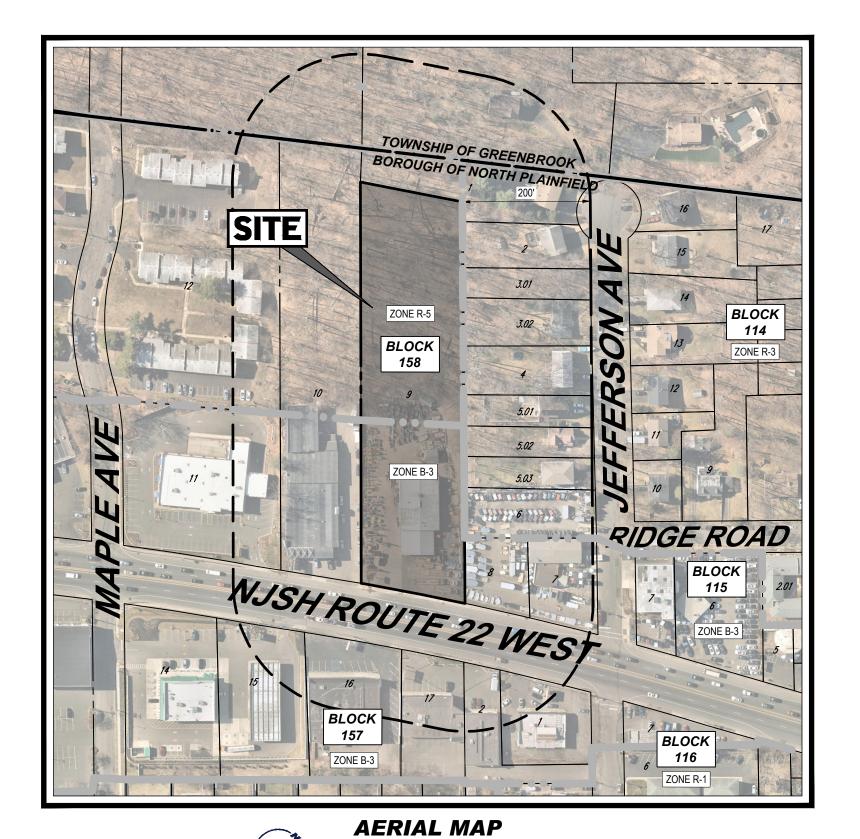


# POPEYES RESTAURANT WITH DRIVE-THRU

**BLOCK: 158 LOT: 9 933 N.J.S.H. ROUTE 22 WEST** 

**BOROUGH OF NORTH PLAINFIELD** SOMERSET COUNTY, NEW JERSEY





SOURCE: NEAR MAPS

PREPARED BY





KEY MAP

### DRAWING SHEET INDEX

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### APPROVAL BLOCK

BOROUGH OF NORTH PLAINFIELD BOARD OF ADJUSTMENT APPROVED BY THE BOARD OF ADJUSTMENT OF THE BOROUGH OF NORTH PLAINFIELD, NEW JERSEY.		
BOARD CHAIRMAN	DATE	
BOARD SECRETARY	DATE	
BOROUGH ENGINEER	DATE	



	REVISIONS				
REV	DATE	COMMENT	DRAWN BY		
11.2	DAIL	OOMMENT!	CHECKED BY		
1	08/31/2021	REV. PER SUSCD	AMD		
'	00/01/2021	COMMENTS	TXL		
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DRAWN BY: CHECKED BY: DATE: CAD I.D.: J201001-COVR-1 PRELIMINARY & FINAL SITE PLAN **933 ROUTE 22 WEST** PROPOSED **POPEYES RESTAURANT** BLK: 158 | LOT: 9 933 N.J.S.H. ROUTE 22 WEST

**BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY** 

30 INDEPENDENCE BLVD., SUITE 200 www.BohlerEngineering.com NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH0001

T. LAM

:PROFESSIONAL ENGINEER. NEW JERSEY LICENSE No. 47863

NEW YORK LICENSE No. 092942 CONNECTICUT LICENSE No. 30024 PENNSYLVANIA LICENSE No. 76746

**COVER** SHEET

C-101

**REVISION 1 - 08/31/2021** 

### PROPERTY OWNERS LIST WITHIN XXX' RADIUS

**USGS MAP** 

CEDAR ST

BLOCK	LOT	OWNER	BLOCK	<u>LOT</u>	OWNER
157.0	1	JBS REALTY, LLC 918-928 ROUTE 22 EAST 07060	158.0	5.01	SEQUIERA-DIETZ, QUISPE, R. 8 F.N. 317 JEFFERSON AVENUE 07060
157.0	2	934 ROUTE 22, LLC C/O 2 ETHEL ROAD, S#202-A EDISON, NJ 08817	158.0	5.02	WALSH, SUSAN 311 JEFFERSON AVENUE 07060
157.0	15	COREMARK NO. PLAINFIELD, LLC PO BOX 600 WHITEHOUSE STATION, NJ 08889	158.0	5.03	CRUZ, NESTOR 307 JEFFERSON AVENUE 07060
157.0	16	KONUGANTI, VENKAT, JVR FUNDING LLC 55 CONSTITUTION WAY JERSEY CITY, NJ 07305	158.0	6	CALIENTE NV, LLC PO BOX 12 BLOOMSBURY, NJ 08804
157.0	17	934 ROUTE 22, LLC C/O 2 ETHEL ROAD, ST. 202A EDISON, NJ 08817	158.0	7	CALIENTE NV, LLC PO BOX 12 BLOOMSBURY, NJ 08804
158.0	1	LIU, GENG & KANG, LE 8 BEACON HILL ROAD FLORHAM PARK, NJ 07932	158.0	8	CALIENTE NV, LLC PO BOX 12 BLOOMSBURY, NJ 08804
158.0	2	D'APICE, KIEGO, CYNTHIA & SCANK, C. 335-337 JEFFERSON AVENUE 07060	158.0	10	WALK WITH ME 945 LLC 945 NJSH 22W 07060
158.0	3.01	JOHNSTONE, BRIAN & DANA PO BOX 4158 DUNELLEN, NJ 08812	158.0	11	B-TWO REALTY, LLC 830 6 <sup>TH</sup> AVE NEW YORK, NY 10001
158.0	3.02	HAYLES, ANNEMARIE 321 JEFFERSON AVENUE 07060	158.0	12	H&W GARDENS ASSOCIATES 820 MORRIS TRNPK., STE 301 SHORT HILLS, NJ 07078
158.0	4	GOEDE, MICHAEL 6375 OAK HOLLOW DRIVE BURLESON, TX 76028-2839			
ALSO TO	ALSO TO BE NOTIFIED:			BE NOTIFIE	ED:
DONNA SHORT GIS SUPERVISOR NEW JERSEY AMERICAN WATER COMPANY, INC.			PLAINFIELD AREA REGIONAL SEWEAGE AUTHORITY 200 CLAY AVENUE MIDDLESEX, NJ 08846		

**GENERAL NOTES** THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING. NJ. LLC (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE ENGINEER OF RECORD AND BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER . IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE

IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE

DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD AND BOHLER THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND

THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL AND ALL APPLICABLE REQUIREMENTS RULES REGULATIONS STATUTORY REQUIREMENTS CODES LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE), THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF RECORD AND BOHLER. IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS.

CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT OCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER OF RECORD AND BOHLER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS. MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING ENGINEER OF RECORD AND BOHLER WRITTEN NOTIFICATION OF SAME AND (B) ENGINEER OF RECORD AND BOHLER, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS. FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK. SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED

FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT. DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS; AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS, MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD AND BOHLER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS, PRIOR TO PROCEEDING WITH ANY FURTHER WORK. IF A GEOTECHNICAL REPORT WAS NOT CREATED, THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT.

ENGINEER OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE

THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT. STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT

DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.

THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC, AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE. BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME, THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE

THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. THE ENGINEER OF RECORD AND BOHLER HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY. SAME BEING WHOLLY OUTSIDE OF ENGINEER OF RECORD'S AND BOHLER SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS. AT ANY TIME. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND BOHLER , ANY DISCREPANCIES THAT MAY OR

START OF CONSTRUCTION.

COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE, IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER FOR ANY AND ALL DAMAGES, COSTS. INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY THIRD PARTY AND FIRST PARTY CLAIMS. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO

BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS, AND CURRENT CODES, RULES, STATUTES AND THE LIKE. IF THE CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER HARMLESS FOR AND FROM ALL INJURIES. CLAIMS AND DAMAGES THAT ENGINEER AND BOHLER SUFFER AND ANY AND ALL COSTS THAT ENGINEER AND BOHLER INCUR AS RELATED TO SAME. ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S

COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO ALL SED TO NAME BOHLER OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SURSIDIARIES, AND RELATED ENTITIES, AND ITS SURCONTRACTORS AND SURCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE (DEFEND. IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN, ALL CONTRACTORS MUST FURNISH BOHLER WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED, WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED LINDER THE LAW INDEMNIEY DEFEND AND HOLD HARMLESS BOHLER AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS PARTNERS SHAREHOLDERS MEMBERS PRINCIPALS COMMISSIONERS AGENTS SERVANTS EMPLOYEES AFEILIATES SLIBSIDIARIES AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION,

LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S), ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY ENGINEER. IN WRITING. AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION. SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER, NOR THE PRESENCE OF BOHLER AND/OR ITS PAST, PRESENT AND FUTURE OWNERS.

SUBSIDIARIES. AND RELATED ENTITIES. AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER PARTIES"), RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER PARTIES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION. THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY DEFEND, PROTECT AND HOLD HARMLESS BOHLER PARTIES FOR AND FROM ANY LIABILITY TO BOHLER PARTIES RESULTING FROM THE CONTRACTOR'S WORK, SERVICES AND/OR VIOLATIONS OF THIS NOTE, THESE NOTES OR ANY NOTES IN THE PLAN SET AND, FURTHER, THE

OFFICERS DIRECTORS PARTNERS SHAREHOLDERS MEMBERS PRINCIPALS COMMISSIONERS AGENTS SERVANTS EMPLOYEES AFFILIATES

CONTRACTOR MUST NAME BOHLER AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER. BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS. SUCH AS SHOP DRAWINGS. PRODUCT DATA. SAMPLES. AND OTHER DATA. WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OF TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME, BOHLER WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS PERMIT, ANY DOCUMENT, DOCUMENTING BOHLER'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT BOHLER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT, BOHLER IS NOT

RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER'S ATTENTION. BOHLER IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED. 5. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST ORTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD AND BOHLER FOR ALL DEVIATIONS WITHIN ENGINEER'S SCOPE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES

FROM THE PLANS. ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING HEREFROM AND, FURTHER, MUST DEFEND, INDEMNIFY, PROTECT, AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND FLEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE, THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY

OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS N STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN; AND, FURTHER, THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS. OWNER AGREES TO INDEMNIEY AND HOLD THE ENGINEER OF RECORD AND BOHLER PARTIES. HARMLESS FOR ALL INJURIES. DAMAGES AND COSTS THAT ENGINEER OF RECORD. AND BOHLER INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS. AND/OR ANY OTHER AGENCY

WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES, ENGINEER OF RECORD AND BOHLER HAS NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK. THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO

DO SO, THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD ENGINEER OF RECORD AND BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED

TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES. AS APPROPRIATE AND FURTHER. THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE ENGINEER OF RECORD AND BOHLER, THE USE OF THE WORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE ENGINEER OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES

**DEMOLITION NOTES**  THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT. DOCUMENTS THE GENERAL NOTES ARE REFERENCED HEREIN AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR AD IACENT TO THE RIGHT-OF-WAY WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY. THE CONTRACTOR MUST

PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED. REMOVED. AND/OR TO REMAIN.

A. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS. B. THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE FEDERAL LOCAL AND ILIRISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER

SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC. 5. THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES. AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST

PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE S. ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR

MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF

ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND BOHLER. IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE ENGINEER OF RECORD AND BY BOHLER, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS,

THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED. FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY

STATUTES, ORDINANCES AND CODES.

COMPLIANT REMOVAL OF SAME.

COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. 0. PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST: A. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT. SITE WORK, AND DEMOLITION WORK B. NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT

LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK. C. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL SITE IS STABILIZED D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT. IN ADVANCE OF ANY EXCAVATION. E. LOCATE AND PROTECT ALL UTILITIES AND SERVICES. INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY

AND STORM SEWER. TELEPHONE. CABLE. FIBER OPTIC CABLE. ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES G. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR

PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS H. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF, AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND ENGINEER OF RECORD AND BOHLER, THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND

THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, OOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S

STRUCTURAL OR GEOTECHNICAL ENGINEER. 2 DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES

: THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT, BACKELLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND THE OWNER.

EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES. THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL. STATE, AND LOCAL GOVERNMENTS REQUIRE, THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE.

TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST

SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED. INCLUDING BUT NOT LIMITED TO. THE PUBLIC RIGHT-OF-WAY. 17 THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES, THIS RECORD DOCUMENT MUST BE

PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE

PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST. 18. THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE

ACCESSIBILITY DESIGN GUIDELINES

AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST.

ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET. AT A MINIMUM. THE

MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH. WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED. . THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND

CONSISTENCY WITH INDUSTRY GUIDELINES. 3. THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE

NOT LIMITED TO THE FOLLOWING: ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY. UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE, WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL, OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH.

VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT

BUILDING ENTRANCE/EXIT. MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE

STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE ROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION, RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES. D. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT

EXCEED A SLOPE OF 1:12 (8.3%). DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO

ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES. THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF

ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN WRITING. PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES. 4. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS

CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION 5. ANY WORK PROPOSED IN THE STATE OF NEW JERSEY MUST CONFORM TO THE NJ UNIFORM CONSTRUCTION CODE SUBCHAPTER 7. BARRIER-FREE ACCESS

SITE LAYOUT NOTES

GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE.

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT. DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS.

THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB. EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS. UNLESS NOTED CLEARLY OTHERWISE

WHEN APPLICABLE, OWNER/ OPERATOR MUST FILE THE NOI FOR NPDES PERMITS AT APPROPRIATE AND/OR REQUIRED TIMEFRAMES BASED UPON THE DESIRED START OF CONSTRUCTION. LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED FROM GOVERNING AUTHORITIES (INCLUDING STORMWATER POLLUTION PREVENTION PLAN, PER NJDEP REQUIREMENTS). THE CONTRACTOR MUST STRICTLY ADHERE TO THE APPROVED SWPPP PLAN DURING CONSTRUCTION OPERATIONS (IF PROVIDED).

ALL WEATHERED CONCRETE MUST BE AIR ENTRAINED AND INCLUDE THE MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 AYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT THE CONTRACTOR MUST REPAIR OR REPLACE, AT THE CONTRACTOR'S SOLE COST AND EXPENSE, ALL SIDEWALKS, CURBS, AND PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES WHETHER SPECIFIED ON THIS PLAN OR NOT

**GRADING NOTES** 

DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED. THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW THE

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT.

THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK 4 THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND LITHLITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION, SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION

OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE

REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE, MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES,

STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS, SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER. OR OWNER/DEVELOPER'S REPRESENTATIVE. SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

6. IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS. THE GRADING PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S). THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING. AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS.

PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE PAVEMENT GRADE UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE ENGINEER OF RECORD APPROVES FINAL CURBING CUT SHEETS PRIOR THE CONTRACTOR MUST CONFIRM AND ENSURE THAT AS CONSTRUCTED IMPROVEMENTS CREATE THE FOLLOWING MINIMUM SLOPES (EXCEPT WHERE ADA REQUIREMENTS LIMIT THEM): 1.0% ON ALL CONCRETE SURFACES, 1.5% ON ASPHALT SURFACES,

WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON THE PLANS. TOP AND BOTTOM OF WALL ELEVATIONS (TW & BW) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF WALL AND DO NOT REPRESENT THE ELEVATION OF THE PROPOSED WALL (INCLUDING THE CAP UNIT OR FOOTING). WALL FOOTINGS/FOUNDATION ELEVATIONS WHICH ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR, MUST BE DETERMINED AND SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT LICENSED STRUCTURAL ENGINEER DESIGNS ALL WALLS SHOWN HEREON AND THAT PRIOR TO CONSTRUCTION. THE MUNICIPALITY APPROVES ALL SIGNED AND SEALED SHOP DRAWINGS. FURTHER, THE CONTRACTOR MUST ENSURE THAT FENCING, GUIDERAIL, UTILITIES, AND OTHER SITE AMENITIES IN THE VICINITY OF THE RETAINING WALL(S), PROPOSED

2% IN LANDSCAPED AREAS AND 0.75% SLOPE AGAINST ALL ISLANDS. GUTTERS. AND CURBS TO PROVIDE POSITIVE DRAINAGE

THE CONTRACTOR MUST ENSURE THAT THERE ARE NO UTILITIES INSTALLED ON THE PASSIVE SIDE OF THE RETAINING WALL. NO EXCAVATION MAY BE PERFORMED ON THE PASSIVE SIDE OF THE RETAINING WALL WITHOUT APPROPRIATELY AND SAFELY SUPPORTING THE WALL IN ACCORDANCE WITH THE STANDARD OF CARE AND ALL APPLICABLE RULES, REGULATIONS, CODES,

SCHEMATICALLY IN THESE PLANS, ARE MATERIALLY CONSIDERED AND INCORPORATED INTO THE RETAINING WALL DESIGN (BY

**LIGHTING NOTES** 

ORDINANCES, LAWS AND STATUTES.

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT

DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS. INCLUDING BUT NOT LIMITED TO GENERAL NOTES. GRADING AND UTILITY NOTES. SITE SA GOVERNMENTAL REGULATIONS.

THE LIGHTING PLAN DEPICTS PROPOSED. SUSTAINED II LUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC

PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC). THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING

AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR LIGHTING CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES. THE CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES,

OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORD'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED THE ACTUAL LIGHTING LEVELS MUST BE VERIFIED IN THE FIELD AND FIXTURES ADJUSTED ACCORDINGLY, BY THE CONTRACTOR,

TO ACHIEVE THE APPROVED LIGHT LEVELS. 10. ILLUMINATION LEVELS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR PROPOSED LIGHTS ONLY. ACTUAL ILLUMINATION LEVELS IN THE FIELD MAY DIFFER FROM THOSE DEPICTED ON THE PLAN DUE TO INTERFERENCE FROM EXISTING/AMBIENT

LIGHTS WHOSE ILLUMINATION LEVELS ARE NOT REFLECTED ON THIS PLAN. NEW JERSEY ATM LIGHTING NOTE: BASED ON THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS FOR BANK ATM'S (N. L.S. A. 17:16K-10). A

MINIMUM OF 10 FOOT-CANDLES AT 3 FEET ABOVE GRADE MUST BE PROVIDED AT THE FACE OF AN UNENCLOSED ATM AND EXTENDING IN AN UNOBSTRUCTED DIRECTION OUTWARD 5 FEET. A MINIMUM OF 2 FOOT-CANDLES AT 3 FEET ABOVE GRADE MUST BE PROVIDED WITHIN 50 FEET IN ALL UNOBSTRUCTED DIRECTIONS FROM THE FACE OF THE ATM OR THE ENTRANCE OF AN ATM FACILITY. IN THE EVENT ANY SUCH ATM OR ATM FACILITY IS LOCATED WITHIN 10 FEET OF THE CORNER OF THE BUILDING IN WHICH IT IS LOCATED AND THE ATM OR ATM FACILITY IS GENERALLY ACCESSIBLE FROM THE ADJACENT SIDE OF SUCH BUILDING. THERE MUST BE A MINIMUM OF 2 FOOT-CANDLES AT 3 FEFT ABOVE GRADE ALONG THE FIRST 40 UNOBSTRUCTED FEFT OF THE ADJACENT SIDE OF THE BUILDING. MEASURED FROM THE CORNER, A MINIMUM OF 2 FOOT-CANDLES AT 3 FEET ABOVE GRADE MUST BE PROVIDED IN THAT PORTION OF THE DEFINED PARKING AREA WITHIN 60 FEET OF AN ATM OR THE ENTRANCE TO AN

14. ILLUMINATION LEVELS SHOWN ON THE PLAN WERE CALCULATED WITH LIGHTING DESIGN SOFTWARE AGI32 BY LIGHTING

DRAINAGE AND UTILITY NOTES

(Rev. 2/2021)

ASTM F477

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY ERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY

POINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD. PRIOR TO COMMENCING ANY CONSTRUCTION. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES. ERRORS AND OMISSIONS IN WRITING. TO THE ENGINEER OF RECORD. THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING. BUT NOT LIMITED O, GAS, WATER, ELECTRIC, SANITARY AND STORM, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION, AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE, THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION.

THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF SAME BASED UPON FINAL ARCHITECTURAL PLANS.

CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS: GREASE TRAP REQUIREMENTS: AND DETAILS. DOOR ACCESS. AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALI UTILITY REQUIREMENTS OF THE APPLICABLE JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION

POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, AND PRIOR TO CONSTRUCTION, MUST RESOLVE SAME. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS

AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE IN ANY RESPECT. FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S). WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE

AGENCY WITH JURISDICTION OVER SAME 10. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE RESPECTIVE UTILITY COMPANY, REGARDLESS OF WHAT THIS PLAN DEPICTS. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY

THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR

TO COMMENCING CONSTRUCTION. 12. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

: THE CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. 14. SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY AND STORMWATER FLOW, OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY IF SUCH LATERAL SEPARATION IS NOT POSSIBLE. THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENTAL AGENCY WITH JURISDICTION OVER SAME. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR

EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER. ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED. 5. WHEN THESE PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM, SANITARY, UTILITIES, AND IRRIGATION LINES, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. THE CONTRACTOR MUST CAP ENDS AS APPROPRIATE MARK LOCATIONS WITH A 2X4 STAKE AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN

CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON

COPY OF THE PLAN, WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK 16. STORM AND SANITARY PIPE LENGTHS INDICATED ARE NOMINAL AND ARE MEASURED FROM CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE. THE CONTRACTOR MUST NOTIFY, IN WRITING, THE BOROUGH ENGINEER, AT LEAST THREE (3) BUSINESS DAYS PRIOR TO

INSTALLATION OF SANITARY COMPONENTS. FAILURE TO HAVE SANITARY INSTALLATION AND TESTING OBSERVED BY THE DESIGNATED ENGINEER MAY REQUIRE RE-EXCAVATION OF SANITARY LINE, AND RE-TESTING, WHICH WILL BE DONE AT THE CONTRACTOR'S SOLE COST AND EXPENSE SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS

SO INDICATE, MUST BE CONSTRUCTED OF REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SANITARY PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE CLEARLY INDICATED OTHERWISE. FOR PIPES LESS THAN 12 FEET DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034. FOR PIPES GREATER THAN 12 FEET DEEP: POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D3034.

SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS CLEARLY INDICATED OTHERWISE 19. UNLESS CLEARLY INDICATED OTHERWISE, ALL STORM PIPES MUST BE REINFORCED CONCRETE PIPES (RCP) CLASS III WITH SILT/SOIL TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M252 FOR PIPES 4" TO 10" AND TO AASHTO M294 FOR PIPES 12" TO 60" AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT/SOIL TIGHT JOINT. PIPE FOR ROOF DRAIN CONNECTION MUST BE HDPE SDR 26 OR PVC SCHEDULE 40 UNLESS INDICATED OTHERWISE. HDPE PIPE JOINT GASKETS MUST BE PROVIDED AND CONFORM TO

1. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER COMPANY. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION 22. GAS METERS MUST BE PROTECTED BY BOLLARDS AND FENCES IF INSTALLED WITHIN THE EXTERIOR OF THE BUILDING AS REQUIRED BY THE JURISDICTIONAL GAS PURVEYOR

REFERENCES

**REFERENCES** 

JOB # 01-200394

JOB # 01-200394

(Rev. 2/2021)

♦ALTA / NSPS LAND TITLE SURVEY: CONTROL POINT ASSOCIATES, INC 30 INDEPENDENCE BLVD., SUITE 100 WARREN, NJ 07059 DATED: 05/27/21 (REV. 1)

♦ NJDOT LOCATION PLAN: CONTROL POINT ASSOCIATES INC. 30 INDEPENDENCE BLVD., SUITE 100 WARREN. NJ 07059 DATED: 05/27/21 (REV. 1)

♦ ARCHITECTURAL PLAN: ZELTA DESIGN 45 SUSSEX AVENUE NEWARK, NEW JERSEY, 07103 DATED: 06/07/2021

◆ ENVIRONMENTAL ASSESSMENT: TECHNICAL MANAGEMENT SUPPORT, LLC 48 GRANT AVENUE EAST HANOVER, NEW JERSEY, 07936 DATED: 12/22/2015

◆STORM WATER COMPLIANCE STATEMENT **BOHLER ENGINEERIN** 30 INDEPENDENCE BLVD., SUITE 200

WARREN, NJ 07059

DATED: 07/2021

BENJ# J200641

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS HOWEVER BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED. OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

REVISIONS

REV DATE COMMENT REV. PER SUSCD 08/31/2021 COMMENTS



WHETHER IT'S ON PRIVATE OR PUBLIC LAND. www.nj1-call.org

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J201001-COVR-1

PROJECT No.: DRAWN BY: **CHECKED BY** 

CAD I.D.: PROJECT:

PRELIMINARY & **FINAL** SITE PLAN

**933 ROUTE 22 WEST.** 

PROPOSED POPEYES RESTAURANT WITH DRIVE-THRU

BLK: 158 | LOT: 9 933 N.J.S.H. ROUTE 22 WEST **BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY** 

30 INDEPENDENCE BLVD., SUITE 200 **WARREN. NJ 07059** Phone: (908) 668-8300 (908) 754-4401 www.BohlerEngineering.com NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH000

T. LAM

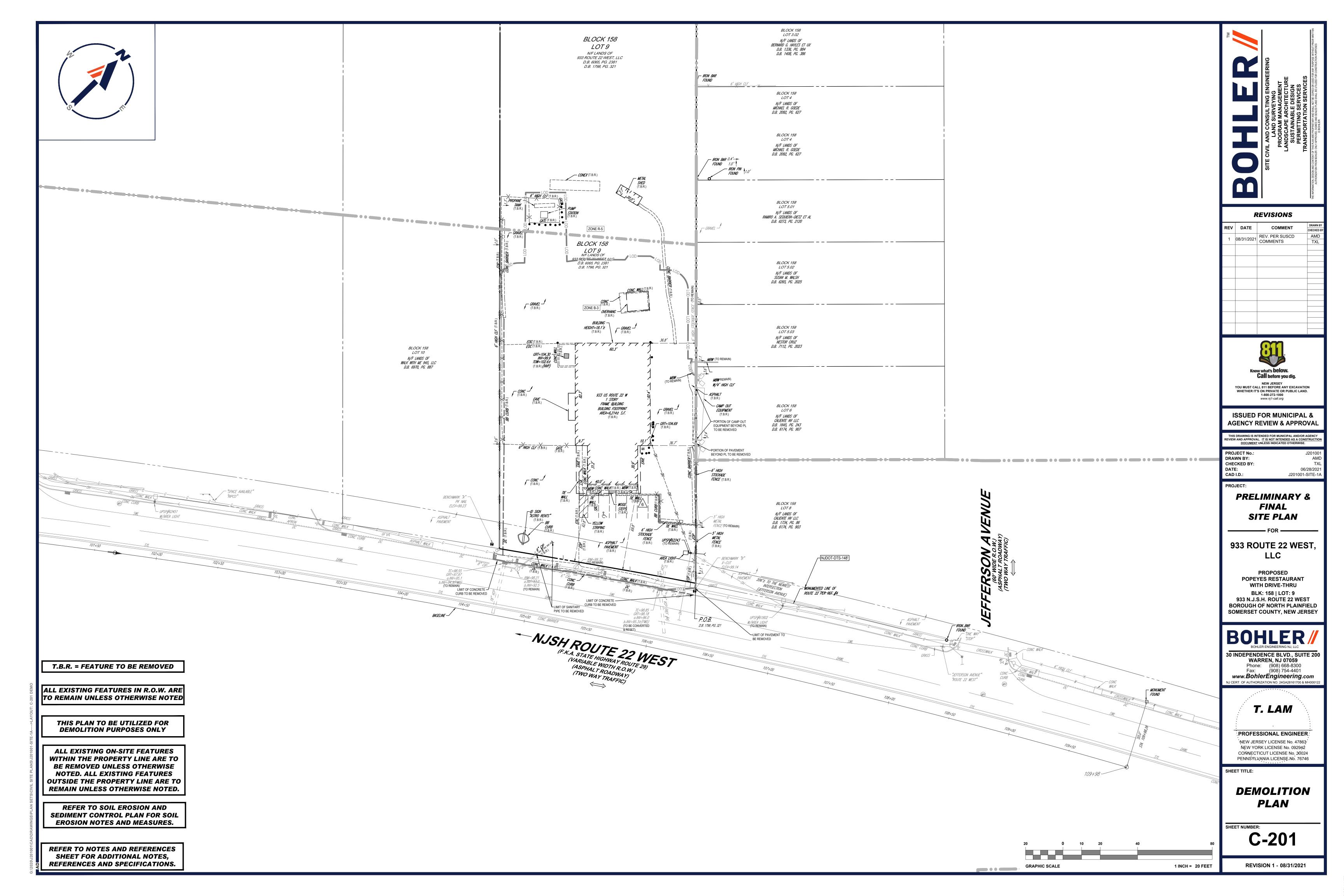
:PROFESSIONAL ENGINEER. NEW JERSEY LICENSE No. 47863 NEW YORK LICENSE No. 092942

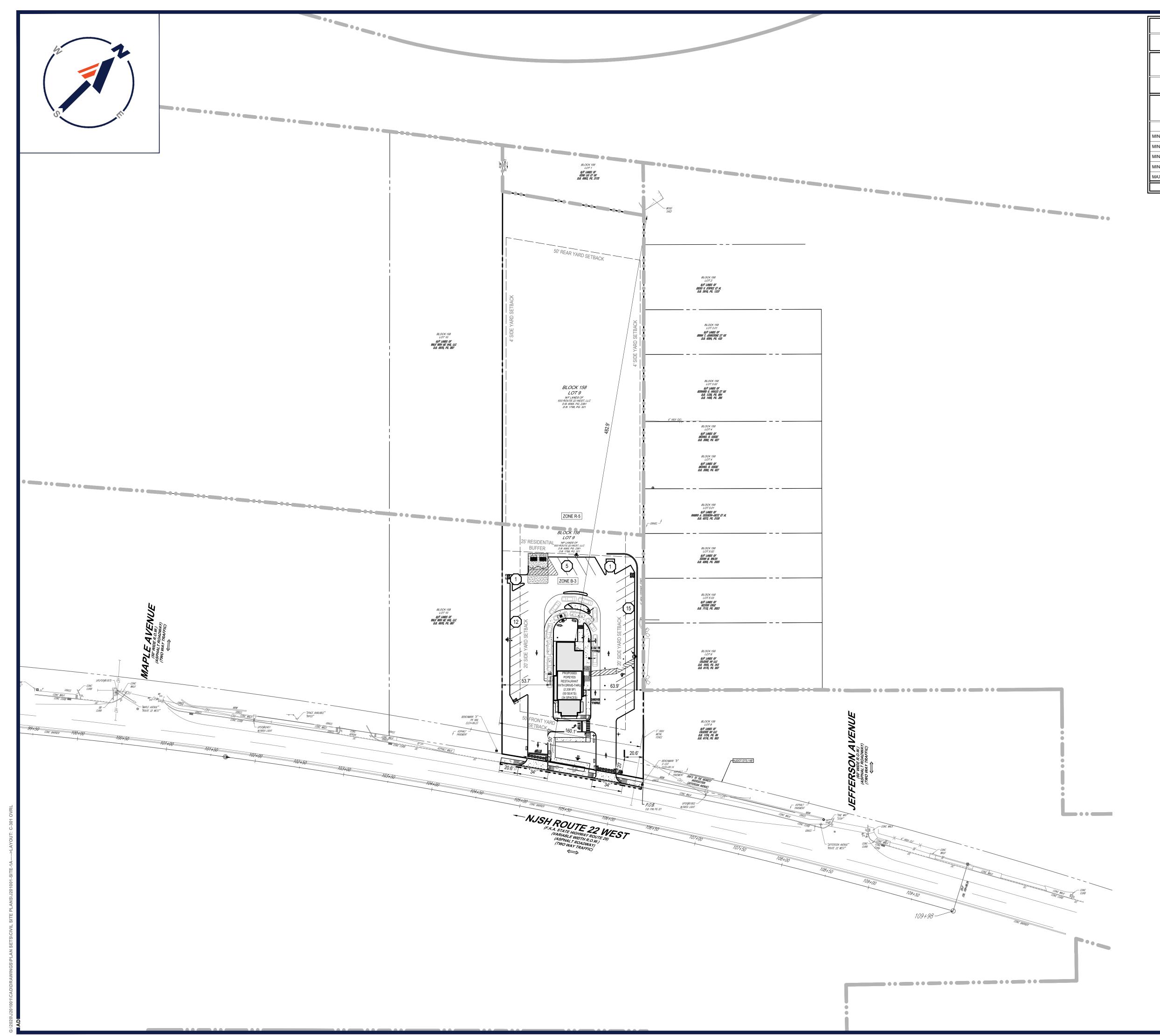
CONNECTICUT LICENSE No. 30024

PENNSYLVANIA LICENSE No. 76746

SHEET TITLE:

NOTES AND **REFERENCES** SHEET





### **ZONING TABLE**

ZONE: B-3 (BUSINESS ZONE)
USE: RESTAURANT WITH DRIVE THRU (NOT PERMITTED) (V)
BLOCK: 158 LOT: 9

### APPLICANT/ OWNER INFORMATION

ADDLICANT.

933 ROUTE 22 WEST, LLC

### **BULK REQUIREMENTS (§22-110.2)**

ITEM	PERMITTED	EXISTING	PROPOSED
MIN. LOT WIDTH	150'	160.1'	160.1'
MIN. FRONT YARD	50'	54.0'	50'
MIN. SIDE YARD	20'	36.7'	53.7'
MIN. REAR YARD	50'	436.5'	482.9'
MAX. BUILDING HEIGHT	35' / 2 STORIES	1 STORY	1 STORY / 21'-10"
<u> </u>	VEV -	· · · · · · · · · · · · · · · · · · ·	MA - MADIANCE DECLUE

PARKING REQUIREMENTS				
ITEM	PERMITTED	PROPOSED		
MIN. STALL SIZE	9' X 18'	9' X 18'		
MIN. AISLE WIDTH	18' (60° ANGLE PARKING)	18'		
MIN. ACCESS DRIVE	12' ONE-WAY 24' TWO-WAY	18'		
MIN. NUMBER OF STALLS	17 STALLS	34 STALLS		
RESTAURANT WITH DRIVE-THRU (§22-117.2.b.5): RESTAURANT - ONE SPACE FOR EACH THREE SEATS DEVOTED TO SERVICES = 1 SPACE / 3 SEATS X 50 SEATS = 16.67 SPACES = 17 SPACES				

PARKING AREAS AND ACCESS DRIVES SHALL BE ENCLOSED BY CONCRETE OR BELGIAN BLOCK CURBING AND SHALL BE CONSTRUCTED WITH A CONCRETE OR A BITUMINOUS CONCRETE SURFACE AND, UNLESS OTHERWISE REQUIRED BY THIS CHAPTER, SHALL BE LOCATED FIVE FEET FROM ANY PROPERTY LINE OR STRUCTURAL WALL OF A BUILDING (§117.5.i)

(V) = VARIANCE REQUIRED

### **BUFFER REQUIREMENTS (§22-115.28)**

THE BUFFER AREA SHALL BE EQUAL IN WIDTH TO 10% OF THE LOT DEPTH; PROVIDED, HOWEVER, IT SHALL NOT BE REQUIRED TO BE GREATER THAN 25 FEET IN WIDTH (§22.115.28)

SHALL NOT BE REQUIRED TO BE GREATER THAN 25 FEET IN WIDTH (§22.

BUFFER AREA = 10% X LOT DEPTH = 10% X 619.6' = 61.96' > 25'

BUFFER AREA = 25'

THE OFF-STREET PARKING AREA SHALL BE EFFECTIVELY SCREENED ON ANY SIDE WHICH ADJOINS OR FACES PREMISES SITUATED IN ANY RESIDENTIAL ZONES, BY A FENCE OR WALL NOT LESS THAN 4 FT NOR MORE THAN 6 FT IN HEIGHT, MAINTAINED IN GOOD CONDITION. (§22-117.5.E)

(V) = VARIANCE REQUIRED

### FREESTANDING SIGNS (§22.119.6)

ILINIIIIII	PROPOSED
1*	1
130 SF	54.66 SF
20' (ROUTE 22) 10' (SIDE OR REAR) 40' (RESIDENTIAL ZONE)	20' (ROUTE 22) 20.60' (SIDE)
	130 SF  20' (ROUTE 22) 10' (SIDE OR REAR) 40' (RESIDENTIAL

MAX. HEIGHT ABOVE GROUND 30' 17'

\*ONE ON-SITE OR OFF-SITE FREESTANDING SIGN SHALL BE PERMITTED ON

A LOT, AT A SHOPPING CENTER OR AT A MALL, EXCEPT AS PROVIDED HEREIN

NO FREESTANDING SIGN SHALL BE PERMITTED ON ANY LOT THAT

HAS A STREET FRONTAGE OF LESS THAN 100 FEET.

### WALL SIGNS (§22.119)

ITEM	PERMITTED	PROPOSED
MAX. NUMBER OF SIGNS	4*	4
MAX. SIGN AREA	150 SF**	38.75 SF (FRONT) 102.08 SF (SIDE) 7.07 SF (SIDE) 7.07 SF (SIDE) 154.97 SF (TOTAL)

\*EACH BUSINESS IS PERMITTED WITH ONE ON-SITE WALL SIGN FOR EACH ENTRANCE OPEN TO THE PUBLIC, PROVIDED THAT ONLY ONE WALL SIGN PER BUSINESS IS PERMITTED ON A WALL AND FURTHER PROVIDED THAT NO MORE THAN FOUR WALL SIGNS PER BUSINESS SHALL BE PERMITTED ON A BUILDING.

\*\*THE DISPLAY SURFACE AREA SHALL NOT EXCEED ONE SQUARE FOOT FOR EACH LINEAR FOOT OF WALL LENGTH UPON WHICH THE SIGN IS ATTACHED, UP TO A MAXIMUM DISPLAY SURFACE AREA OF 150 SQUARE FEET; PROVIDED, HOWEVER, THAT THE AREA OF WALL SIGNS PERMITTED ON A FACADE NOT HAVING A PUBLIC ENTRANCE BY PARAGRAPH C1 ABOVE SHALL NOT BE LIMITED TO THE AREA PERMITTED BY THIS PARAGRAPH, OR TO THE AREA PERMITTED FOR A WALL SIGN ON

### DIRECTIONAL SIGNS (§22.119.3.C)

ITEM	PERMITTED	PROPOSED			
MAX. NUMBER OF SIGNS	ER OF SIGNS 2* 4 (V)				
MAX. SIGN AREA 4 SF** 3.12 SF					
MAX. HEIGHT ABOVE GRADE 42" ** 42"					
*ONE DIRECTIONAL SIGN SHALL BE PERMITTED AT EACH ENTRANCE OR					

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

EXIT ON A LOT OR PARCEL TO IDENTIFY SAID ENTRANCE OR EXIT.

THE SMALLEST FACADE HAVING SUCH AN ENTRANCE, WHICHEVER IS LESS.

\*\*SUCH SIGNS SHALL NOT HAVE A DISPLAY SURFACE AREA THAT EXCEEDS FOUR SQUARE FEET AND SHALL BE LIMITED IN HEIGHT TO 42 INCHES ABOVE NORMAL GRADE.

**GRAPHIC SCALE** 

(V)=VARIANCE REQUIRED

1 INCH = 50 FEET

LE:

OVERALL SITE LAYOUT PLAN

ET NUMBER:

C-301

REVISION 1 - 08/31/2021

DRAWN BY:
CHECKED BY:
DATE: 06/28/
CAD I.D.: J201001-SIT

PROJECT:

PRELIMINARY &

PROJECT No.:

**REVISIONS** 

1 08/31/2021 REV. PER SUSCD COMMENTS

FINAL SITE PLAN

Call before you dig.

YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND.

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

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933 ROUTE 22 WEST,

PROPOSED POPEYES RESTAURANT WITH DRIVE-THRU

BLK: 158 | LOT: 9 933 N.J.S.H. ROUTE 22 WEST BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY



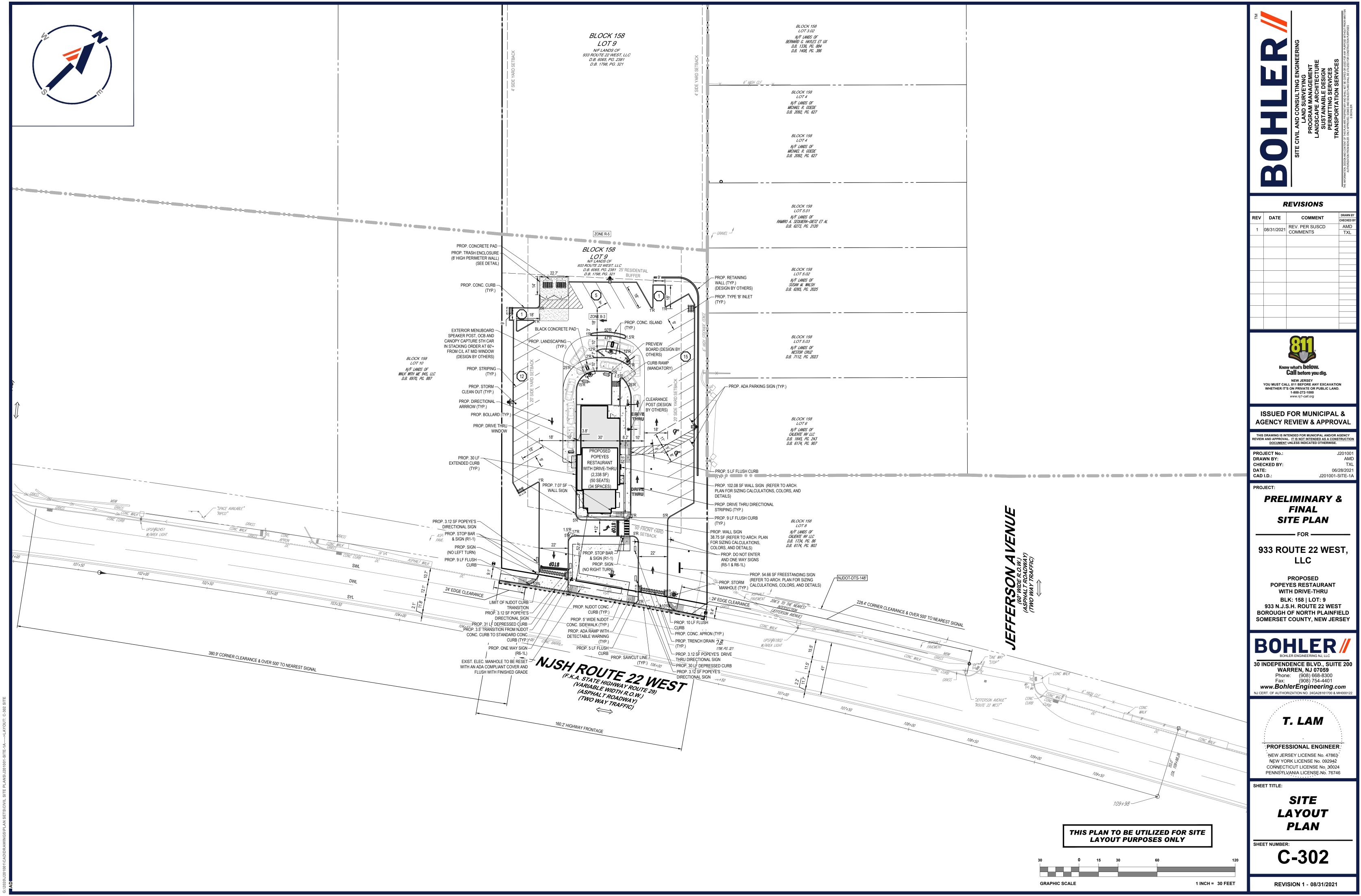
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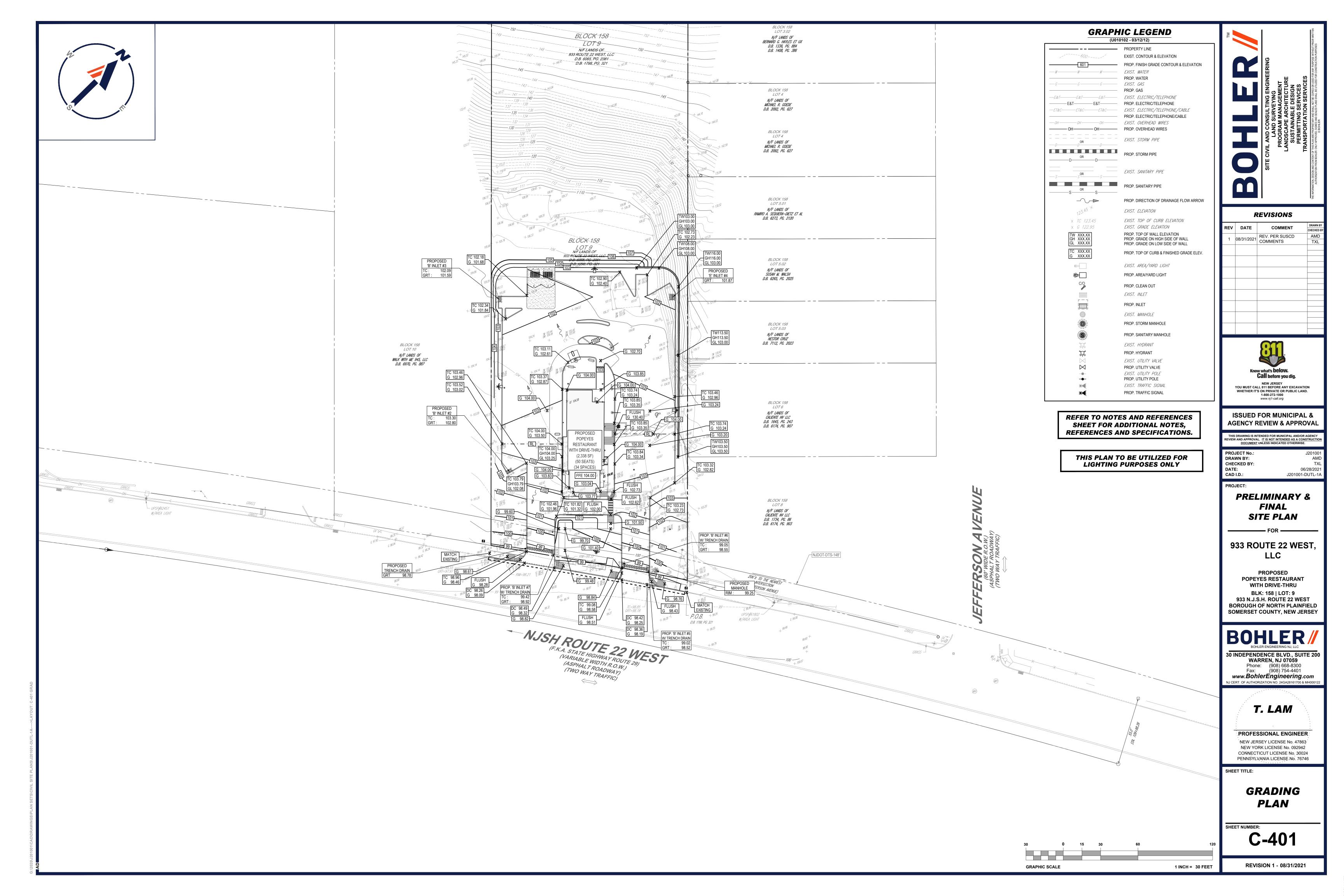
NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH00012

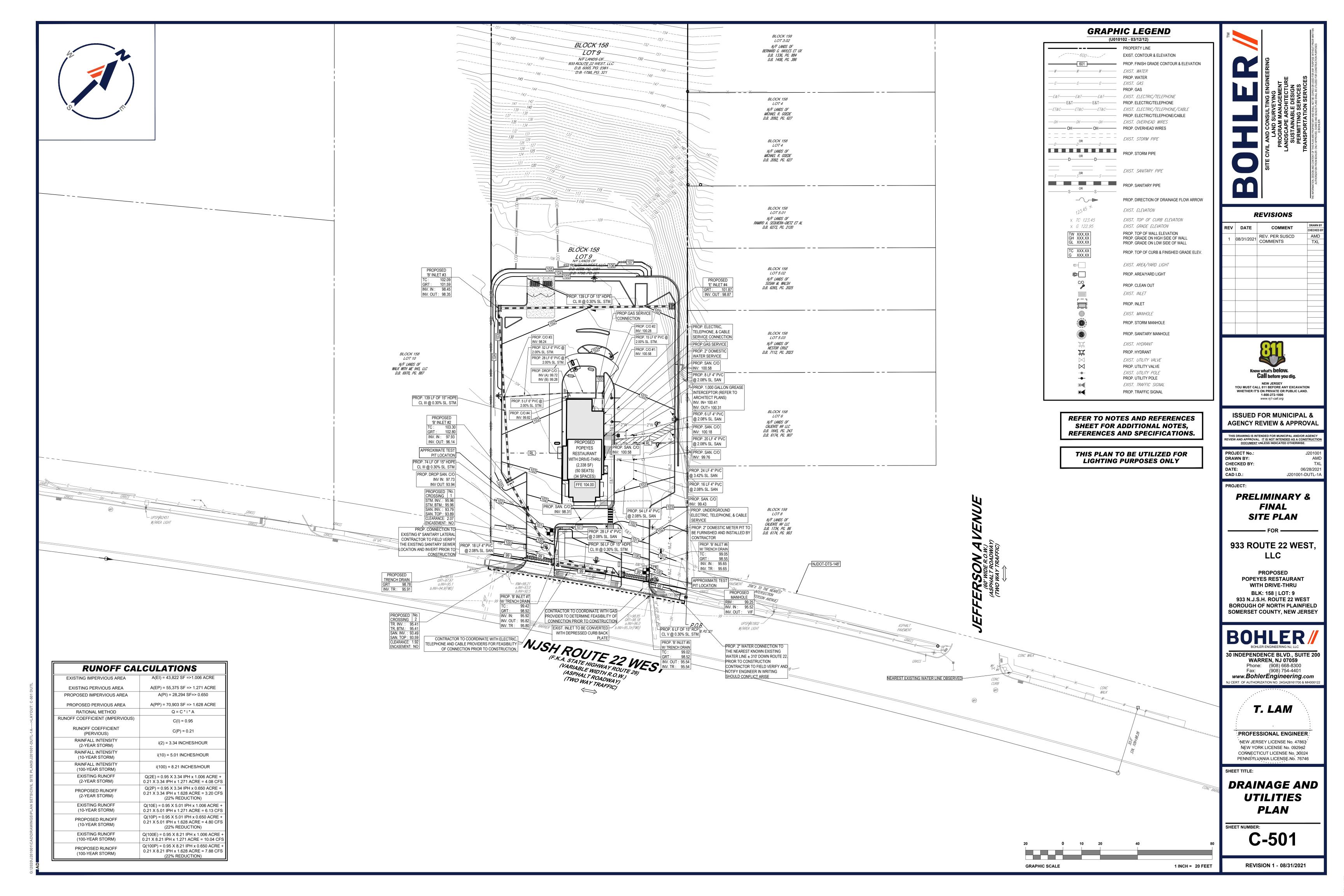
T. LAM

PROFESSIONAL ENGINEER.

NEW JERSEY LICENSE No. 47863
NEW YORK LICENSE No. 092942
CONNECTICUT LICENSE No. 30024
PENNSYLVANIA LICENSE No. 76746









LEGEND				
PRO	OPOSED			
<b>(</b>	INLET FILTER			
SF	SILT FENCE			
LOD	LIMIT OF DISTURNBANCE			
	CONSTRUCTION ENTRANCE			
	TEMPORARY STOCK PILE			

### **SOMERSET COUNTY SCD NOTES**

(O009915 - 08/24/2020)

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING

3. PERMANENT VEGETATION SHALL BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED

4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION LAST REVISED JANUARY 2014

5. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS, IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING

6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E.: STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.

7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E.: SLOPES GREATER THAT 3:1)

8. TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'X30'X6'PAD OF 1 1/2" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE

9. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND

10. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED. ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER. SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES.

11. IN THAT NJSA 4:24-39 ET SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.

12. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING

13. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.

14. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.

15. MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING. 16. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT.

17. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.

18. HYDRO SEEDING IS A TWO- STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDRO-MULCH SHOULD BE APPLIED AT A RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ

### STABILIZATION SPECIFICATIONS TEMPORARY SEEDING AND MULCHING:

90 LBS/1.000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4".

PERENNIAL RYE GRASS 100 LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN

AUGUST 15 AND OCTOBER 1. WARM SEASON PEARL MILLET AT 20 LBS/ACRE OR OTHER APPROVED SEEDS: PLANT BETWEEN MAY 15 AND AUGUST 15.

SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

### TABILIZATION SPECIFICATIONS PERMANENT SEEDING

### PERMANENT STABILIZATION SPECIFICATIONS: MULCHING

A. MULCH MATERIALS TO BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT THE RATE OF 1.5 TO 2 TONS/ACRE OR 70 B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF SOIL SURFACE WILL BE

C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY

ONE OF THE FOLLOWING METHODS: (2) MULCH NETTING

### (3) LIQUID MULCH-BINDERS

MULCH STABILIZATION

A. UNROTTED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS/ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS/1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS. OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.

B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.

C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1.500 POUNDS/ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYOROSEEOER. D. MULCH NETTING SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED.

E. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:

PEG AND TWINE MULCH NETTING LIQUID MULCH-BINDERS

### SEQUENCE OF CONSTRUCTION:

PHASE I: INSTALL STONE ANTI - TRACKING PAD AND OTHER SOIL EROSION SEDIMENT CONTROL MEASURES, INCLUDING SILT FENCING AND INLET FILTERS, (2 DAYS)

PHASE 2: DEMOLITION OF EXISTING BUILDING(S) AND STRUCTURES AS REQUIRED. MILL EXISTING PAVEMENT TO REMAIN. SAWCUT EXISTING PAVEMENT AT PROPOSED FULL DEPTH SECTIONS.

PHASE 3: EXCAVATE AND INSTALL UNDERGROUND PIPING, DRAINAGE STRUCTURES. (5 DAYS)

PHASE 4: EXCAVATE AND INSTALL UNDERGROUND UTILITIES. (5 DAYS)

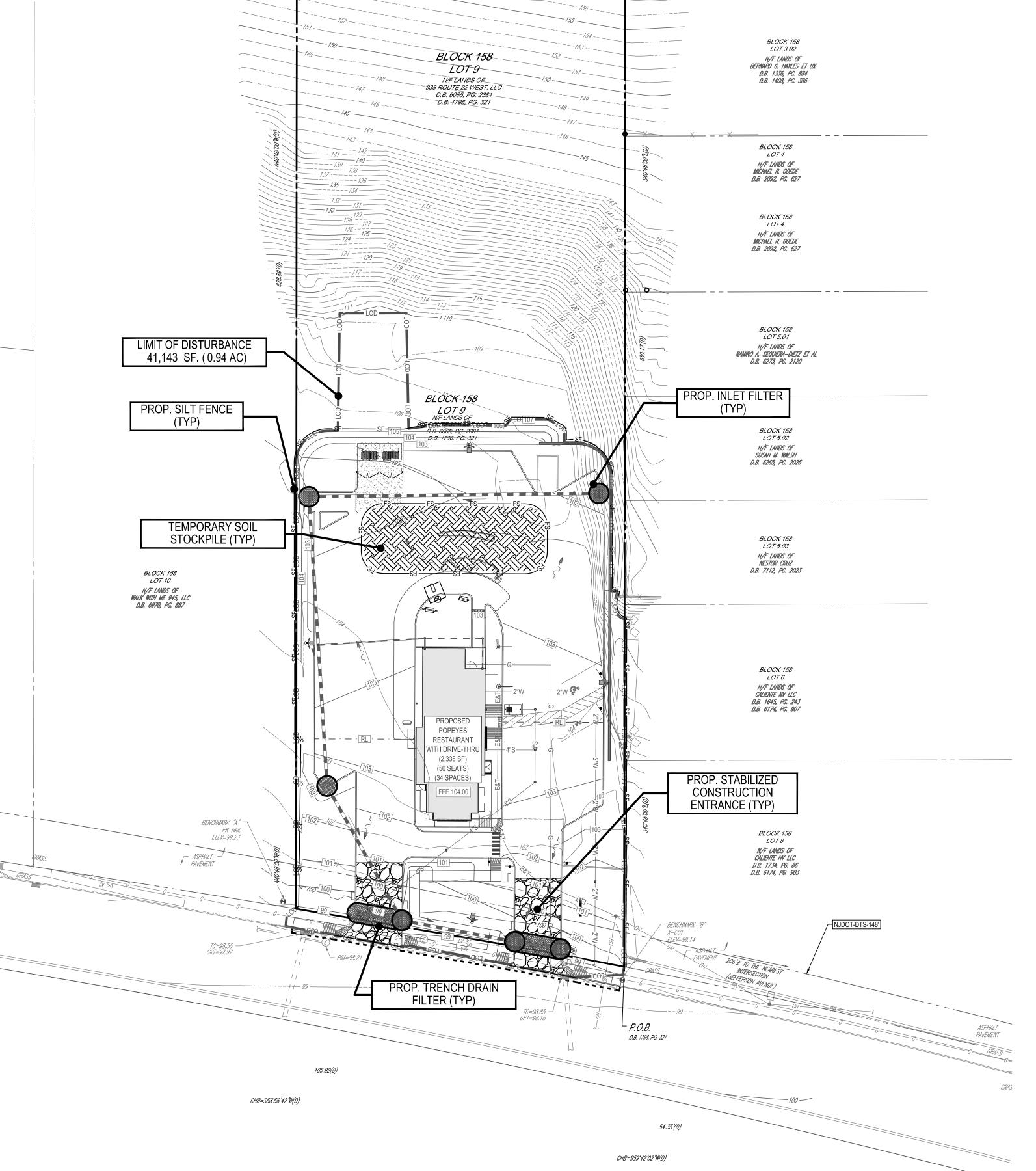
PHASE 5: EXCAVATE FOR FOUNDATIONS AND CURBS (15 DAYS)

PHASE 6: COMPLETE BUILDING ADDITIONS CONSTRUCTION AND TENANT OUTFIT. INSTALL PROPOSED CURBING AND CONCRETE SLABS (20 DAYS)

PHASE 7: FINAL GRADING ON SITE AND PLACEMENT OF 5" OF TOPSOIL IN ALL PROPOSED LANDSCAPE

PHASE 8: INSTALL PAVING AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING. (15 DAYS)

PHASE 9: REMOVAL OF ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES UPON FINAL STABILIZATION OF ALL EXPOSED AREAS CONFIRMED VIA SITE INSPECTION BY CONSERVATION DISTRICT. (1 DAY)



### **SOIL EROSION & SEDIMENT CONTROL PLAN NOTES**

DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. 2. EROSION CONTROL MEASURES MUST CONFORM TO THE NEW JERSEY GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR UNLESS ENGINEER CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE.

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT

INSTALLATION OF EROSION CONTROL. CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.

THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 0.94 ACRES.

4. THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE: A. STABILIZED CONSTRUCTION ENTRANCE/ EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE

B. SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AND SOIL STOCKPILES. Î C. INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE

FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA. 5. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.

6. THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6" COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION. 7. THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO

FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON. THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES. 8. THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER SO REQUIRES, TO PREVENT ANY,

INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. 9. THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE

RESPONSIBLE FOR ALL SUCH COSTS. 10. THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.

11. THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION. 12. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE

EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS

NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. 13. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE

AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS. 14. THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION. 15. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR

OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT 16. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES. 17. THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE

WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED 18. THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME

19. THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION & RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION & RESPONSE PROCEDURES.

### **SESC COMPACTION NOTE**

THE SUBJECT SITE IS LOCATED IN PLANNING AREA-1 AND IS DEVELOPED UNDER EXISTING CONDITIONS. BASED ON THE NEW JERSEY DEPARTMENT OF AGRICULTURE STATE SOIL CONSERVATION COMMITTEE TECHNICAL BULLETIN, EFFECTIVE MARCH 2018, THE SOIL COMPACTION REQUIREMENTS ARE NOT

REV DATE

(Rev. 1/2020)

### **REVISIONS**

COMMENT

			CHECKED BY
1	08/31/2021	REV. PER SUSCD	AMD
		COMMENTS	TXL



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J201001-SESC-1

PROJECT No.: DRAWN BY: **CHECKED BY:** 

PROJECT:

CAD I.D.:

PRELIMINARY & FINAL SITE PLAN

**933 ROUTE 22 WEST.** 

PROPOSED **POPEYES RESTAURANT** WITH DRIVE-THRU

BLK: 158 | LOT: 9 933 N.J.S.H. ROUTE 22 WEST **BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY** 

30 INDEPENDENCE BLVD., SUITE 200 **WARREN, NJ 07059** Phone: (908) 668-8300 (908) 754-4401 www.BohlerEngineering.com NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH0001

T. LAM

PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 47863 NEW YORK LICENSE No. 092942

CONNECTICUT LICENSE No. 30024 PENNSYLVANIA LICENSE No. 76746

SHEET TITLE:

**SOIL EROSION** & SEDIMENT **CONTROL PLAN** 

C-601

**REVISION 1 - 08/31/2021** 

0 15 30 1 INCH = 30 FEET **GRAPHIC SCALE** 

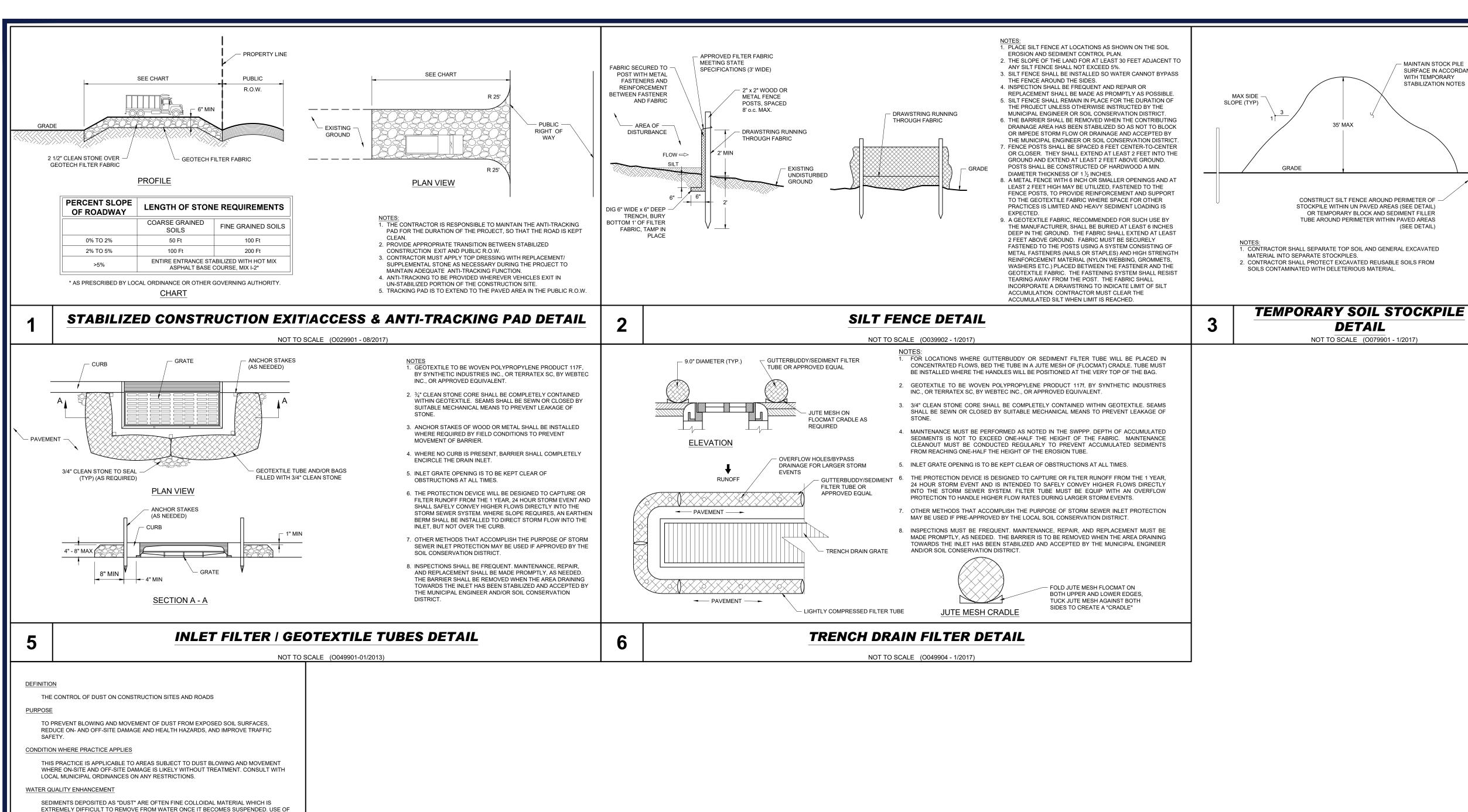
LIMIT OF DISTURBANCE LINE HAS

BEEN OFFSET FOR GRAPHICAL

PURPOSES. ACTUAL LIMIT OF

DISTURBANCE WILL OCCUR AT THE SILT FENCE OR LIMIT OF GRADING.

THIS PLAN TO BE UTILIZED FOR SOIL **EROSION AND SEDIMENT CONTROL PURPOSES ONLY** 



THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LOCAL

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

MULCHES - SEE STANDARDS FOR STABILIZATION WITH MULCHES ONLY

THESE AREAS.

<u>VEGETATIVE COVER</u> - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER,

SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MOCK SOILS). KEEP

TYPE OF

**NOZZLE** 

COARSE SPRAY

FINE SPRAY

FINE SPRAY

APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE

PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD.

USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND

COARSE SPRAY

VEGETATIVE COVER FOR SOIL STABILIZATION, AND

APPLY GALLONS/

ACRE

235

1,200

SURFACE WATER RESOURCES.

PERMANENT STABILIZATION WITH SOD.

WATER DILUTION

12.5:1

NONE

SPRINKLING- SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

STONE- COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

TILLAGE- TO ROUGHEN THE SURFACE AND BRING THE CLODS TO THE SURFACE. THIS IS A

EMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES

APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE

BARRIERS- SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY

O FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

> NJSCD STANDARD FOR DUST CONTROL

> > NOT TO SCALE (0999916 - 2/2018)

AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. CALCIUM CHLORIDE- SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH

PLANNING CRITERIA

ANIONIC ASPHAL

LATEX EMULSION

RESIN IN WATER

POLYACRYLAMIDE

POLYACRYLAMIDE

ACIDULATED SOY

BEAN SOAP STICK

THE DESIRED EFFECT.

-SPRAY ON

-DRY SPREAD

EMULSION

BAG MAY BE SURROUNDED BY STAKED HAY BALES AND FILTER FABRIC TO ENHANCE SEDIMENT CAPTURE PUMP DISCHARGE SEDIMENT CONTROL BAG PUMP . CONTRACTOR MUST COMPLY WITH ALL APPLICABLE SOIL CONSERVATION AND NJDEP REQUIREMENTS REGARDING DISCHARGE OF EFFLUENT. 2. A SEDIMENT/SILT CONTROL BAG IS TO BE USED ON EXCAVATION AREA SITE WHERE EXCAVATIONS ARE DEEP AND SPACE IS LIMITED. AND WHEN DIRECT DISCHARGE OF SEDIMENT LADEN WATER TO STREAM OR DRAINAGE 3. BAG MUST BE LOCATED AWAY FROM RECEIVING WATERS AND/OR CONSTRUCTION ACTIVITIES 4. BAGS MUST BE DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND FED., STATE, AND LOCAL REGULATIONS. BAGS MAY NOT BE 5. DISCHARGE HOSE FROM PUMP MUST BE PLACED IN A STABILIZED AREA DOWN SLOPE OF UNSTABILIZED AREAS TO PREVENT EROSION. 6. MAINTENANCE MUST BE PERFORMED BY THE CONTRACTOR WHEN THE PUMP RUNS DRY AND

NJ SCD SEDIMENT CONTROL BAG

FOR DEWATERING DETAIL

NOT TO SCALE (0089906-08/2016)

### **REVISIONS**

REV DATE COMMENT 1 08/31/2021 REV. PER SUSCD COMMENTS



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DRAWN BY: **CHECKED BY:** CAD I.D.: J201001-COVR-1

> PRELIMINARY & FINAL

SITE PLAN

**933 ROUTE 22 WEST.** 

PROPOSED **POPEYES RESTAURANT** WITH DRIVE-THRU

933 N.J.S.H. ROUTE 22 WEST BOROUGH OF NORTH PLAINFIELD **SOMERSET COUNTY, NEW JERSEY** 

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**SOIL EROSION** & SEDIMENT CONTROL **DETAILS** 

C-602

**REVISION 1 - 08/31/2021** 



- MAINTAIN STOCK PILE

WITH TEMPORARY

(SEE DETAIL)

SURFACE IN ACCORDANCE

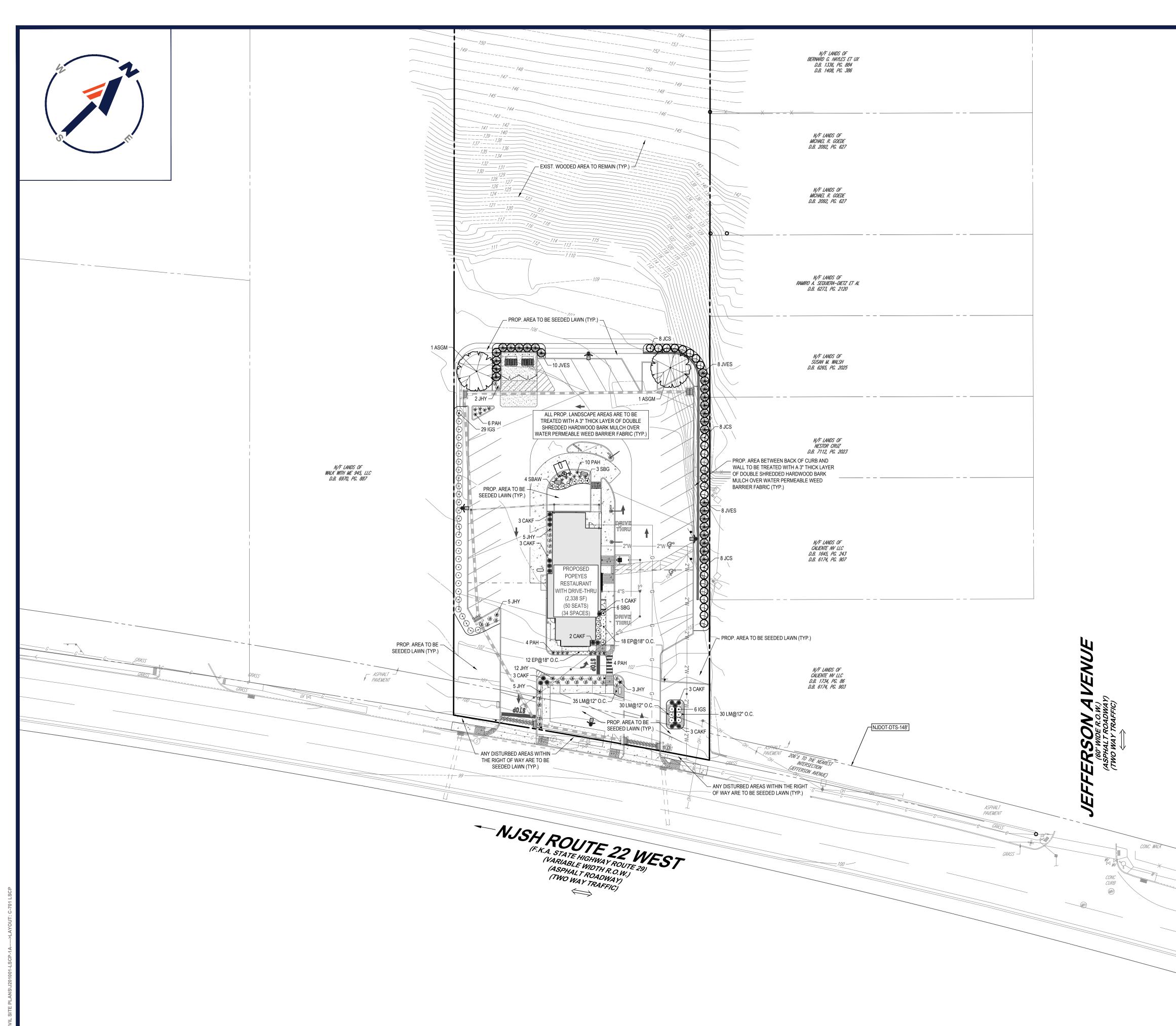
STABILIZATION NOTES

FILTERED

WATER FLOW

SYSTEM IS TO BE AVOIDED.

BACK UP WATER REMAINS.



COMPLIANCE CHART					
SECTION	REQUIREMENT	CALCULATIONS	COMPLIANCE		
CHAPTER 2.	F. THE TOTAL NUMBER, BY SPECIES OF	EXISTING TREES ARE TO REMAIN.			
ARTICLE III.	TREES WITH A DBH OF FOUR INCHES OR GREATER WHICH ARE TO BE REMOVED;				
2-28.8.			NOT APPLICABLE		
LANDSCAPING AND					
DEVELOPMENT.					
CHAPTER 22.  ARTICLE VII.  22-79.  STANDARD REQUIRED IMPROVEMENTS.	K. SHADE TREES. SHADE TREES. WHERE REQUIRED BY THE APPROVING AUTHORITY, TWO NEW SHADE TREES SHALL BE INSTALLED ON EACH LOT ON THE OWNER'S PROPERTY SO AS NOT TO INTERFERE WITH UTILITIES, ROADWAYS OR WALKWAYS AND SIDEWALKS. TREES SHALL BE TWO INCHES OR MORE IN DIAMETER, EIGHT FEET OR MORE IN HEIGHT AND OF THE FOLLOWING TYPES, BUT NOT LIMITED TO; EVERGREEN OR SILVER LINDEN; LONDON OR ORIENTAL PLANE; NORWAY, SCHWEDLER'S OR SUGAR MAPLE; CHESTNUT; RED, PIN, BLACK OR SCARLET OAK.	TWO (2) TREES WITH A MINIMUM CALIPER OF 2.5 INCHES HAVE BEEN PROPOSED ON SITE.	COMPLIES		
CHAPTER 22.  ARTICLE VII.  22-82.7.	LANDSCAPING AND/OR FENCING SHALL BE PROVIDED AROUND ANY OUTDOOR RECYCLING AREA AND SHALL BE DEVELOPED IN AN AESTHETICALLY PLEASING MANNER.	AN EVERGREEN SCREEN HAS BEEN PROPOSED AROUND THE PROPOSED TRASH ENCLOSURE.	COMPLIES		
SCREENING.					
CHAPTER 22.  ARTICLE VIII.  22-115.28.  BUFFER AREAS IN BUSINESS ZONE.	A. A BUFFER AREA SHALL BE LOCATED ALONG ANY COMMON BOUNDARY BETWEEN A BUSINESS ZONE DISTRICT AND A RESIDENTIAL ZONE DISTRICT. THE BUFFER AREA SHALL BE EQUAL IN WIDTH TO 10% OF THE LOT DEPTH; PROVIDED, HOWEVER, IT SHALL NOT BE REQUIRED TO BE GREATER THAN 25 FEET IN WIDTH. THE USE OF NATIVE VEGETATION IS ENCOURAGED TO BE THE FIRST CHOICE AS A METHOD OF SCREENING PRIOR TO ANY OTHER MATERIAL OR METHODS. BUFFER AREAS ARE ALLOWED TO BE USED BY STORMWATER MANAGEMENT BY DISCONNECTING IMPERVIOUS SURFACES AND TREATING RUNOFF FROM THESE IMPERVIOUS SURFACES.	A BUFFER HAS BEEN PROVIDED ALONG THE EASTERN LINE WHERE THE SITE ABUTS A RESIDENTIAL ZONE.	COMPLIES		
CHAPTER 22.  ARTICLE VIII.  22-117.5.	K. ALL PORTIONS OF THE PROPERTY NOT USED FOR OFF-STREET PARKING SHALL BE ATTRACTIVELY LANDSCAPED WITH GRASS LAWNS, TREES AND SHRUBS AS APPROVED BY THE APPROVING AUTHORITY.	LANDSCAPING HAS BEEN PROVIDED THROUGHOUT THE SITE WHERE ALLOWABLE.	COMPLIES		
REQUIREMENTS FOR ALL OTHER OFF STREET PARKING AND LOADING.			JOHN EIEG		

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
SHADE TREE(S)					
ASGM	2	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2 1/2-3" CAL.	B+B
SUBTOTAL:	2				
VEDODEEN TRE	-(0)				
EVERGREEN TREE	<u>-(S)</u>	HINDERLIC VIDOINIANA IEMERALD	EMEDALD CENTINEL FACTEDNINED		I
JVES	26	JUNIPERUS VIRGINIANA 'EMERALD SENTINEL'	EMERALD SENTINEL EASTERN RED CEDAR	8-10'	B+B
SUBTOTAL:	26				
DECIDUOUS SHRU	JB(S)				1
SBAW	4	SPIRAEA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	24-30"	CONTAINER
SBG	9	SPIRAEA X BUMALDA 'GOLDFLAME'	GOLD FLAME SPIREA	24-30"	CONTAINER
SUBTOTAL:	13				
EVERGREEN SHR	JB(S)				
IGS	35	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24-30"	CONTAINER
JCS	24 JUNIPERUS CHINENSIS 'SPARTAN'		SPARTAN JUNIPER	8-10'	B+B
JHY	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'		ANDORRA JUNIPER 18-24" SPRD CONTAINE		
SUBTOTAL:	91				
PERENNIAL(S)					
EP	31	ECHINACEA PURPUREA	PURPLE CONEFLOWER	2 GAL.	CONTAINER
LM	95	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL.	CONTAINER
SUBTOTAL:	126				
ORNAMENTAL GR	ASS(ES)				
	18	CALAMAGROSTIS ARUNDINACEA 'KARL	FEATHER REED GRASS	2 GAL.	CONTAINER
CAKF	PAH 24 PENNISETUM ALOPECUROIDES DWARF FOLINTAIN GRASS 2 GAL CONTAIN		2 GAL.	CONTAINER	
CAKF PAH	24	'HAMELN'	I		

### **OWNER MAINTENANCE RESPONSIBILITIES**

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE
THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN
SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
 TREES WITHIN VEHICULAR SIGHT LINES. AS ILLUSTRATED ON THE LANDSCAPE PLAN. ARE TO BE TRIMMED

TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
 VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO

THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.

• FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

> REFER TO LANDSCAPE NOTES & DETAILS SHEET

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

30	0	15	30	60	120
GRAPHIC S	CALE				1 INCH = 30 FEET

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS
TE COMMENT

REV	DATE	DATE COMMENT	
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1	08/31/2021	REV. PER SUSCD	AMD
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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY VIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

ROJECT No.:

RAWN BY:

HECKED BY:

ATE:

06/28/2021

AD I.D.:

J201001-LSCP-1A

OJECT:

PRELIMINARY & FINAL

SITE PLAN

933 ROUTE 22 WEST,

PROPOSED
POPEYES RESTAURANT
WITH DRIVE-THRU
BLK: 158 | LOT: 9

933 N.J.S.H. ROUTE 22 WEST BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY

BOHLER //

30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
Phone: (908) 668-8300
Fax: (908) 754-4401
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NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH000122

T. LAM

PROFESSIONAL ENGINEER

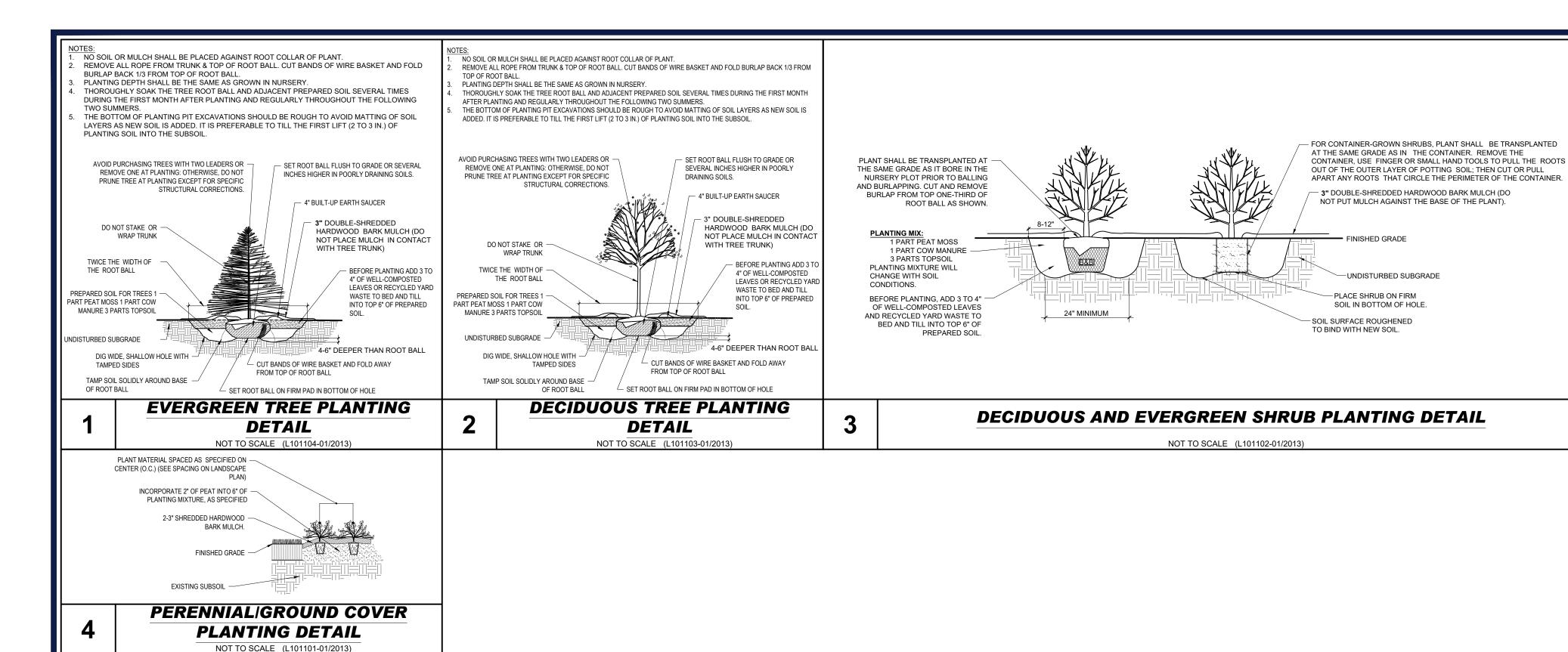
NEW JERSEY LICENSE No. 47863 NEW YORK LICENSE No. 092942 CONNECTICUT LICENSE No. 30024 PENNSYLVANIA LICENSE No. 76746

SHEET TITLE:

LANDSCAPE PLAN

LIEET NIIMBED:

C-701



**SEEDING SPECIFICATIONS:** (L021101 - 06/2012)

2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND

DEBRIS LARGER THAN 2" DIAMETER.

PERENNIAL RYEGRASS

SPREADING FESCUE

FERTILIZER (20:10:10)

ESTABLISHED BY OWNER.

KENTUCKY BLUEGRASS

INSTRUCTIONS.

RED FESCUE

3. SEEDING RATES:

1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OFALL

1/2 LB/1,000 SQ FT

1 1/2 LBS/1.000 SQ FT

1 1/2 LBS/1.000 SQ FT

14 LBS/1,000 SQ FT

90 LBS/1,000 SQ FT

4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR

TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS

1 LB/1 000 SQ FT

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

### OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO. THE FOLLOWING

 TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL TREES WITHIN VEHICULAR SIGHT LINES AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED.

TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.

 VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS. FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE

LANDSCAPE SPECIFICATIONS

THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE

C. LAWN - ALL DISTURBED AREAS ARE TO BE COVERED WITH A MINIMUM 5" THICK LAYER OF TOPSOIL AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT

A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE MOST CURRENT VERSION OF THE STATE DEPARTMENT OF

TRANSPORTATION'S SPECIFICATIONS B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT OF NOT LESS THAN 5% BY WEIGHT AND A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF ALL DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.

LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED. WEED AND DISEASE/PEST FREE WITH A UNIFORM. THICKNESS OF AT LEAST 3/4". SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD THE SOD IN PLACE.

D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE SPECIFIED OR DEPICTED ON

MANUFACTURER FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE b. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE AS SPECIFIED OR, AS A MINIMUM, 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT A FERTILIZER SHOULD NOT BE PURCHASED OR APPLIED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY AND THE PRIOR APPROVAL OF THE

FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF

F. PLANT MATERIAL a. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY

b. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER BOTANICAL NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4", WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE

REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. e. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL EXHIBIT NORMAL GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE. INSECTS, PESTS, EGGS OR LARVAE. f. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND

INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE

MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL

THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN)

STABILIZATION METHODS INDICATED WITHIN THE SEEDING SPECIFICATION ON THE APPROVED LANDSCAPE PLAN.

GENERAL WORK PROCEDURES: A. THE CONTRACTOR SHALL UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT

SHALL BE REMOVED COMPLETELY FROM THE SITE. **PREPARATIONS** A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH THE GENERAL WORK PROCEDURES OUTLINED HEREIN.

B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. THE CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR THE DURATION OF THE PROJECT AND WARRANTY PERIOD FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. THE CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.

C. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF N.J.S.A. 48:2-74, et seq. , THE UNDERGROUND UTILITY PROTECTION ACT. IN PARTICULAR, THE CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL

A CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE

B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON WOOD/STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE

C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE

A. CONTRACTOR SHALL OBTAIN A SOIL TEST FOR ALL AREAS OF THE SITE AND SUBMIT THE SAME TO THE LANDSCAPE ARCHITECT OR ENGINEER FOR APPROVAL PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.

B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN OR DIRECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER, IN WRITING, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON

C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY. D. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED

LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID

MATERIAL WITH A PH HIGHER THAN 7.5. E. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED

TO BE ADDED TO INCREASE DRAINAGE F. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX. 7. FINISHED GRADING

A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE. B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT A PROPER SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±).

C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT. D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

A. CONTRACTOR SHALL PROVIDE A 5" THICK MINIMUM LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM

LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. B. ON-SITE TOPSOIL MAY, UPON THE PROVISION OF A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY AND THE SUBMISSION TO AND APPROVAL BY THE LANDSCAPE. ARCHITECT OR ENGINEER, BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED

STORED AND PROTECTED PRIOR TO CONSTRUCTION C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION

D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES 20 POUNDS 'GROW POWER' OR APPROVED EQUAL

20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.

B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.

D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING. E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS,

MAKING NECESSARY ADJUSTMENTS AS DIRECTED. F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:

a. PLANTS: MARCH 15 TO DECEMBER 15 b. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY, LANDSCAPE ARCHITECT AND/OR ENGINEER FOR POTENTIAL SUBSTITUTIONS

G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN. AVAILABILITY. THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS RECOMMENDED THAT THESE SPECIES NOT BE PLANTED DURING THE FALL PLANTING SEASON: ACER RUBRUM

PLATANUS X ACERIFOLIA BETULA VARIETIES POPULUS VARIETIES **CARPINUS VARIETIES** PRUNUS VARIETIES CRATAEGUS VARIETIES PYRUS VARIETIES

KOFI RFUTERIA QUERCUS VARIETIES LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOSA LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES

H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY

a. 1 PART PEAT MOSS

1 PART COMPOSTED COW MANURE BY VOLUME 3 PARTS TOPSOIL BY VOLUME 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:

 2 TABLETS PER 1 GALLON PLANT 3 TABLETS PER 5 GALLON PLANT 4 TABLETS PER 15 GALLON PLANT

• LARGER PLANTS: 2 TABLETS PER ½" CALIPER OF TRUNK I. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY. J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE

IT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL. K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE. . GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE

WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, PERENNIALS/ANNUALS SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND

SIDEWALKS. N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE

O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN. 10 TRANSPLANTING (WHEN REQUIRED

A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT. B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT,

C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30. D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.

F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED AT THE OWNER'S REQUEST OR IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT REQUIRED TO ENSURE THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED

B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES. C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE LANDSCAPE ARCHITECT AND/OR ENGINEER AND THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND

APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE

FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE. WITHOUT EXCEPTION. C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING

A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT

AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED. B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE

AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

COMMENT REV DATE REV. PER SUSCD 08/31/2021 COMMENTS

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PROJECT No.: DRAWN BY: **CHECKED BY:** 06/28/20

J201001-LSCP-1

CAD I.D.:

PROJECT: PRELIMINARY &

FINAL

SITE PLAN

**933 ROUTE 22 WEST,** 

PROPOSED

POPEYES RESTAURANT WITH DRIVE-THRU BLK: 158 | LOT: 9

933 N.J.S.H. ROUTE 22 WEST **BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY** 

30 INDEPENDENCE BLVD., SUITE 200 **WARREN. NJ 07059** Phone: (908) 668-8300 (908) 754-4401 www.BohlerEngineering.com

T. LAM

NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH0001

:PROFESSIONAL ENGINEER: NEW JERSEY LICENSE No. 47863 NEW YORK LICENSE No. 092942

CONNECTICUT LICENSE No. 30024

PENNSYLVANIA LICENSE No. 76746

SHEET TITLE:

**LANDSCAPE NOTES & DETAILS** 



### LIGHTING NOTES (Rev. 1/2020)

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE
- PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF
- EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL
- GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC). THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY, THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION
- AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S. MECHANICAL ENGINEER'S AND/OR LIGHTING CONTRACTOR'S RESPONSIBILITY. AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND
- 7. THE CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORD'S ATTENTION, PRIOR TO THE COMMENCEMENT OF
- CONSTRUCTION. 8. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS
- INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED. 9. THE ACTUAL LIGHTING LEVELS MUST BE VERIFIED IN THE FIELD AND FIXTURES ADJUSTED ACCORDINGLY, BY THE CONTRACTOR, TO ACHIEVE THE APPROVED LIGHT LEVELS.
- 10. ILLUMINATION LEVELS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR PROPOSED LIGHTS ONLY. ACTUAL ILLUMINATION LEVELS IN THE FIELD MAY DIFFER FROM THOSE DEPICTED ON THE PLAN DUE TO INTERFERENCE FROM

TOLERANCE), CONFORMING TO ASTM C260.

ACCESSORIES MUST BE GALVANIZED.

CONCRETE PIER FOUNDATIONS.

PROTECTION FOR LIGHT POLE.

FINAL ACCEPTANCE OF THE WORK.

DURING THE ABOVE MENTIONED TIMEFRAME.

14. ALL ELECTRICAL COMPONENTS TO COMPLY WITH N.E.C.

16. VERIFY WITH LOCATIONS SHOWN ON LIGHTING PLAN

MUST BE EXTENDED TO 30" ABOVE SURFACE, OR PROVIDE BOLLARD

EXISTING/AMBIENT LIGHTS WHOSE ILLUMINATION LEVELS ARE NOT REFLECTED ON THIS PLAN. 11. ILLUMINATION LEVELS SHOWN ON THE PLAN WERE CALCULATED WITH LIGHTING DESIGN SOFTWARE AGI32 BY LIGHTING

8. EXPOSED CONCRETE IS TO BE AIR ENTRAINED, 6% (WITHIN 1%

9. CONCRETE TO BE CONSOLIDATED IN PLACE USING AN INTERNAL

IN CONTACT WITH EXPOSED SURFACES TO BE PLASTIC TIPPED. ALL

PER THE REINFORCING SPLICE SCHEDULE OR 40 BAR DIAMETERS.

PROVIDE BENTONITE SLURRY IN PERMANENT CASINGS FOR DRILLED

10. REINFORCING STEEL BARS SHALL BILLET STEEL ASTM A615, GRADE 60.

CONCRETE, IF REQUIRED, ADDITIONAL BARS OR STIRRUPS TO BE PROVIDED

BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS, BAR SUPPORTS

11. ALL SPLICES OF REINFORCING BARS NOT INDICATED ARE TO BE LTS AS

DISCONTINUOUS ENDS OF CONTINUOUS BARS ARE TO BE STANDARD HOOKS. 12. IF CAVING OF DRILLED HOLES ARE ENCOUNTERED, CONTRACTOR SHALL

13. CONCRETE MUST ATTAIN 80% OF THE DESIGN STRENGTH OR CURE FOR A

MINIMUM OF 7-DAYS PRIOR TO THE INSTALLATION OF THE LIGHT POLES OR ALL LIGHT POLES ARE TO BE SUITABLY BRACED AGAINST WIND LOADS

ALL REINFORCEMENT TO BE SECURELY HELD IN PLACE WHILE PLACING

GARDCO BY SIGNIFY ECORFORM
SERIES SMALL LED AREA LIGHT
(A-1 HSS & A-2 HSS)
NOT TO SCALE

APPROXIMATE LOCATION -

OF 0.5 FC ISOLINE (TYP.)

	LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	MTG. HT.	DESCRIPTION	ARRNGMNT.	LUMENS	LLF	COLOR TEMP.	IES FILENAME	CATALOG#	
•(-	2	A-1 HSS	25'	GARDCO BY SIGNIFY ECOFORM SERIES SMALL LED AREA LIGHT W/ HOUSE SIDE SHIELD	SINGLE	15,899	0.900	4000K	ECF-S-48L1A-NW-G2-3-HIS.IES	ECF-S-48L-1A-NW-G2-AR-3-XXX-XXX-HIS-BK	
<b>4</b>	2	A-2 HSS	25'	GARDCO BY SIGNIFY ECOFORM SERIES SMALL LED AREA LIGHT W/ HOUSE SIDE SHIELD	SINGLE	16,372	0.900	4000K	ECF-S-48L1A-NW-G2-4-HIS.IES	ECF-S-48L-1A-NW-G2-AR-4-XXX-XXX-HIS-BK	
				EEN MODELED FOR THIS DESIGN. E NOT BEEN MODELED FOR THIS DESIGN.							

LUMBINAIDE COUEDIU E

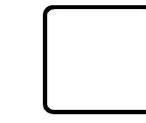
**BOROUGH REQUIREMENTS** PER SECTION: CHAPTER 22 LAND DEVELOPMENT, ARTICLE XIII ARCHITECTURAL DESIGN STANDARDS, §22-138.2(I) DESIGN STANDARDS LOCATION

N/F LANDS OF

RAMIRO A. SEQUIERA-DIETZ ET AL

D.B. 6273, PG. 2120





The Gardco SSS Straight Square Steel pole consists of a one-piece square fabricated steel lighting standard. The carbon steel base plate is secured to the shaft with a continuous circumferential weld providing excellent strength and integrity. The poles are finished with an electrostatically applied, thermally cured TGIC polyester powdercoat.



refix	Height	Pole Size	Gauge	Drilling <sup>1</sup>		Finish		Options	
SSS	10 12 14 15 18 20 25 20 25 30 20 25 30 35	5	7 7 7	D1 D2 D2@90 D3 D4 T2 T3 T4 P	1 Way 2 Way 2 Way at 90° 3 Way at 90° 4 Way 2 3/8" OD Tenon X 4" long 3" OD Tenon X 6" long 4" OD Tenon X 6" long Plain Top (No Drilling/No Tenon)	BRP BLP WP MGY DGY GV FPGV OC	Bronze Paint Black Paint White Paint Medium Grey Dark Grey Galvanized (No Paint) Finished Paint over Galvanized (specify color) Optional Color Paint (Specify RAL designation ex: RAL.7024) Special Color Paint (Specify, Must supply color chip.)	CL1/2 CL3/4 CL1 CL1-1/4 CL1-1/2 NL1/2 NL3/4 NL1 NL1-1/4 NL1-1/2	Coupling - Internal Thread 1-1/2"  Nipple - External Thread 3/4" Nipple - External Thread 1" Nipple - External Thread 1" Nipple - External Thread 1-1/4" Nipple - External Thread 1-1/2" ate height above base and orientation to hand hole. See Pole Orientation Information on Page 5.  Single Side Mount Bullhorn Brackets 0-19 Single -1.9" OD (For Gardco DFL7/DFC7 only)
	30 35 40	6	7					Indic	ate height above base and orientation to hand hole. See Pole Orientation Information on Page 5  Refer to Site and Area Steel Pole Accessories on e-catalog for additional accessories.

Refer to notes below for exclusions and limitations. For questions or concerns, please consult the factory 1. Standard poles are drilled in factory for compatibility with Signify luminaires only (D\* options). For non-Signify-brand luminaires, select the P drilling option.

	Pole Type	12NC for ordering	Description (in inches)
For Pre-ship service	4" and 5" Poles	912400215786	0.75 x 18 x 3.75
(Order 4 per pole)	6" Poles	912400215784	1 x 36 x 4.5
For shipment with the pole	4" and 5" Poles	912400207384	0.75 x 18 x 3.75
(Order 1 per pole)	6" Poles	912400200208	1 x 36 x 4

CONTRACTOR TO COORDINATE LIGHT POLE SPECIFICS W/ MANUFACTURER LIGHT POLE COLOR TO MATCH FIXTURE: BLACK

LIGHT POLE SPECIFICATION

THIS PLAN TO BE UTILIZED FOR **LIGHTING PURPOSES ONLY** 

**GRAPHIC SCALE** 

PROJECT: SOURCE: GARDCO BY SIGNIFY PRELIMINARY & FINAL SITE PLAN **933 ROUTE 22 WEST.** 

> PROPOSED **POPEYES RESTAURANT** WITH DRIVE-THRU

**REVISIONS** 

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06/28/202

J201001-LGHT-1

PROJECT No.:

**CHECKED BY:** 

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CAD I.D.:

1 08/31/2021 REV. PER SUSCD COMMENTS

COMMENT

REV DATE

BLK: 158 | LOT: 9 933 N.J.S.H. ROUTE 22 WEST **BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY** 

30 INDEPENDENCE BLVD., SUITE 200 WARREN, NJ 07059 Phone: (908) 668-8300 (908) 754-4401 www.BohlerEngineering.com NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH000

T. LAM

PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 47863 NEW YORK LICENSE No. 092942

CONNECTICUT LICENSE No. 30024 PENNSYLVANIA LICENSE No. 76746

SHEET TITLE:

**LIGHTING** PLAN

1 INCH = 30 FEET

C-703

**REVISION 1 - 08/31/2021** 

### LIGHT POLE FOUNDATION NOTES

FLECTRICAL CODES

1. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS, COORDINATE WITH ALL CONTRACT DRAWINGS, PROJECT SHOP DRAWINGS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ENSURE NO CONFLICTS ARISE BETWEEN LIGHT POLE FOUNDATIONS, STRUCTURES, AND UTILITIES. IF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DESIGN PLANS ARISE, THE ENGINEER MUST BE NOTIFIED IMMEDIATELY IN WRITING

THE CONTRACTOR IS TO HAVE A GEOTECHNICAL ENGINEER, LICENSED IN THE PROJECT'S STATE, ON SITE TO INSPECT FILL, MONITOR FILL COMPACTION AND TO VERIFY SUBGRADE ALLOWABLE BEARING CAPACITY AND SOIL DESIGN CRITERIA PRIOR TO CONSTRUCTION IN ACCORDANCE TO THE DESIGN ASSUMPTIONS STATED. UNSUITABLE MATERIALS FOUND MUST BE REMOVED OR BE REMEDIED AS PER THE DIRECTION OF THE ON SITE GEOTECHNICAL

3. IF CONDITIONS IN THE FIELD ARE DIFFERENT THAN THOSE INDICATED, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.

4. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT APPROPRIATE SELECT BACKFILL IS USED, AND THOROUGHLY COMPACTED TO 98% MAX. DENSITY

5. STRUCTURAL CONCRETE AND CONCRETING PRACTICES SHALL CONFORM WITH ACI-318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE." DETAILS ARE TO BE IN ACCORDANCE WITH ACI-315, "MANUAL OF STANDARD PRACTICE: DETAILS AND DETAILING OF CONCRETE REINFORCEMENT." FORM WORK SHALL CONFORM ACI-347 "GUIDE TO FORM WORK FOR CONCRETE", UNLESS OTHERWISE NOTED ON THE CONTRACT DOCUMENTS.

6. CONCRETE MUST BE NORMAL WEIGHT STONE AGGREGATE WITH THE STATED MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS. HISTORICAL DATA OR LABORATORY TESTS FOR THE PRELIMINARY DESIGN MIX IS TO BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION. THE WATER-CEMENT RATIO FOR THE PROPOSED MIX DESIGN MUST ACHIEVE AN AVERAGE 28-DAY STRENGTH OF 1,200 PSI GREATER THAN THE REQUIRED STRENGTH ON LABORATORY TEST RESULTS

7. CONCRETE IS TO HAVE A SLUMP NO GREATER THAN 4" TO WITHIN A **TOLERANCE OF 1"** 

3" CLEAR

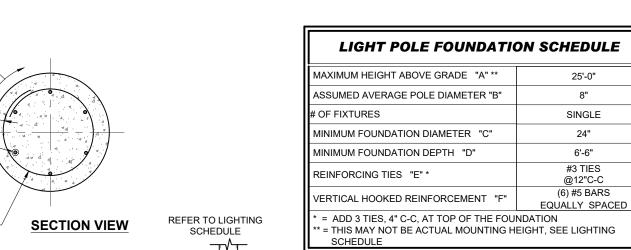
VERTICAL

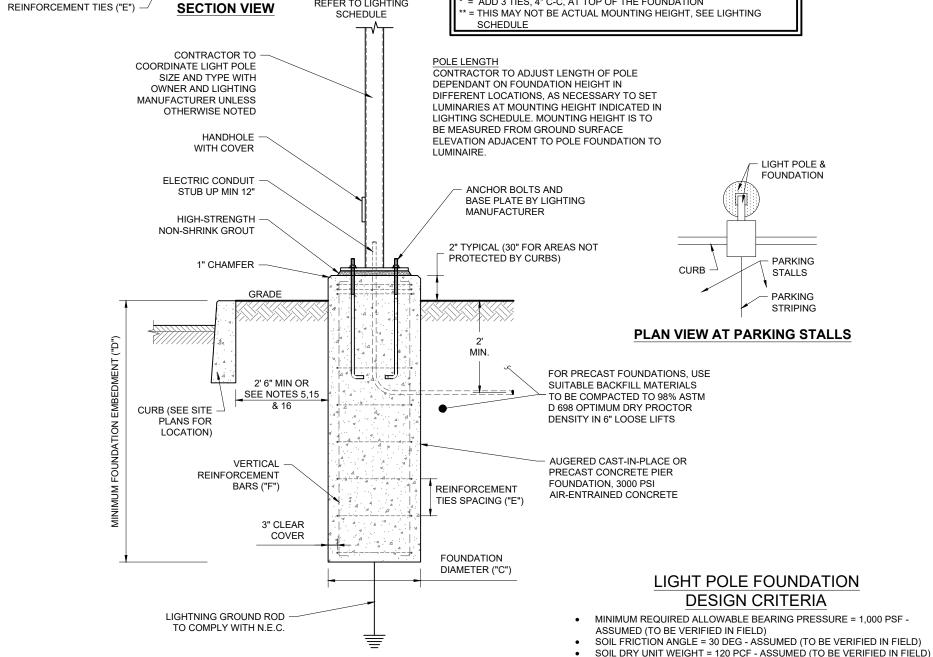
COVER (TYP)

REINFORCEMENT

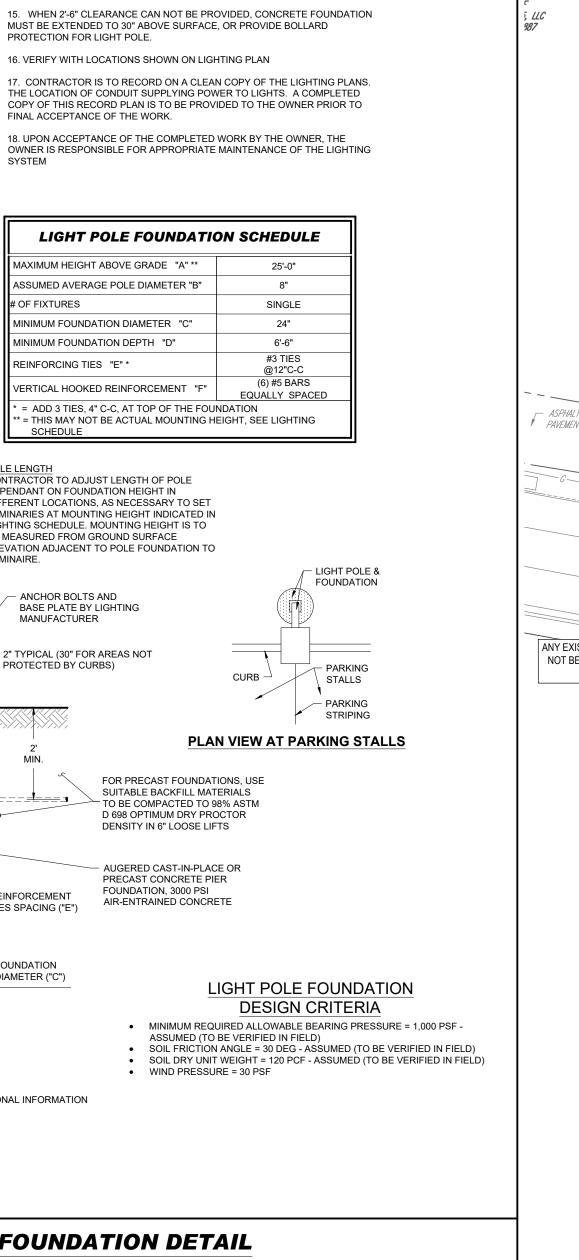
CONCRETE FOUNDATION -

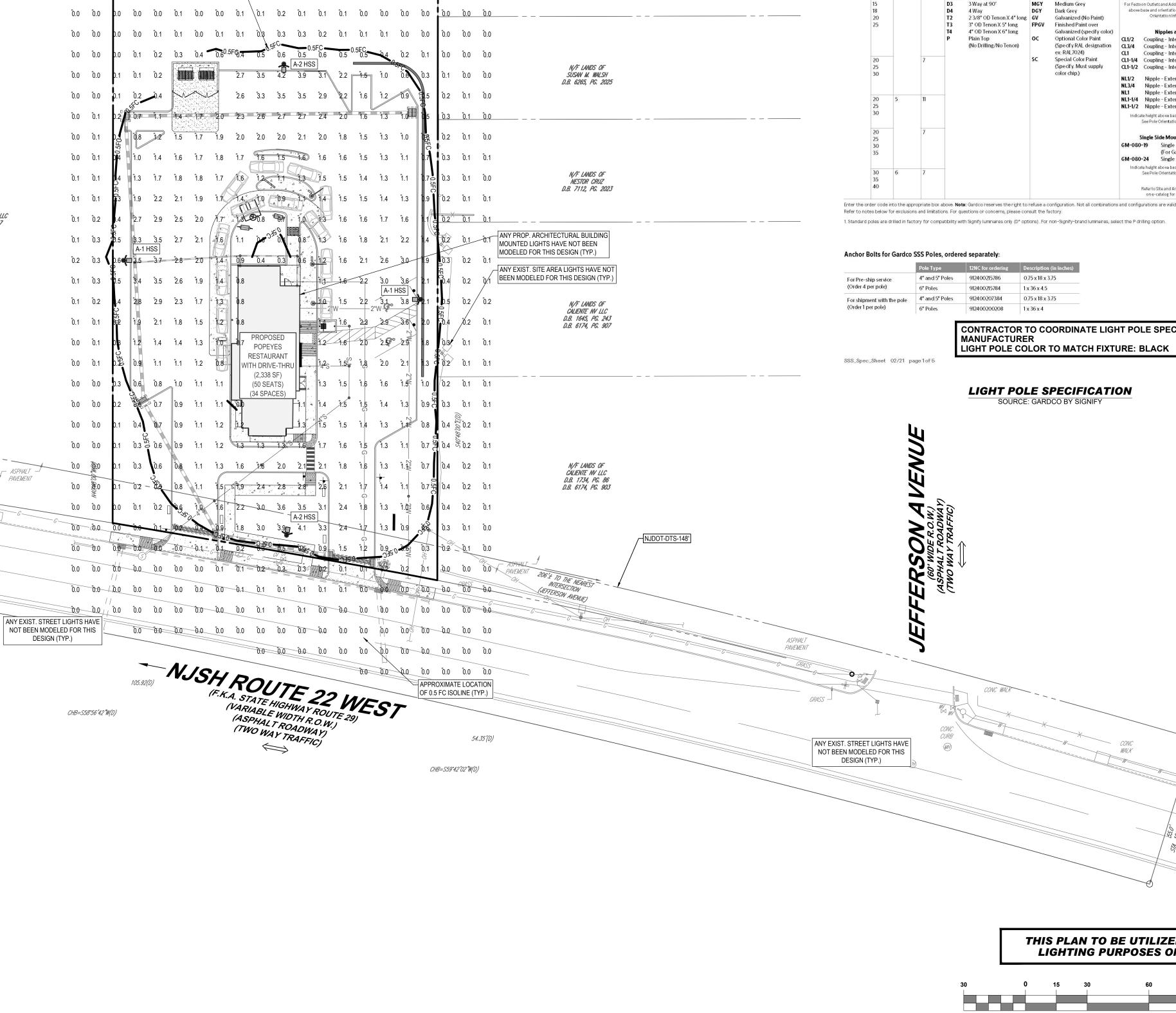
MINIMUM DIAMETER ("C")





— ASPHALT PAVEMENT





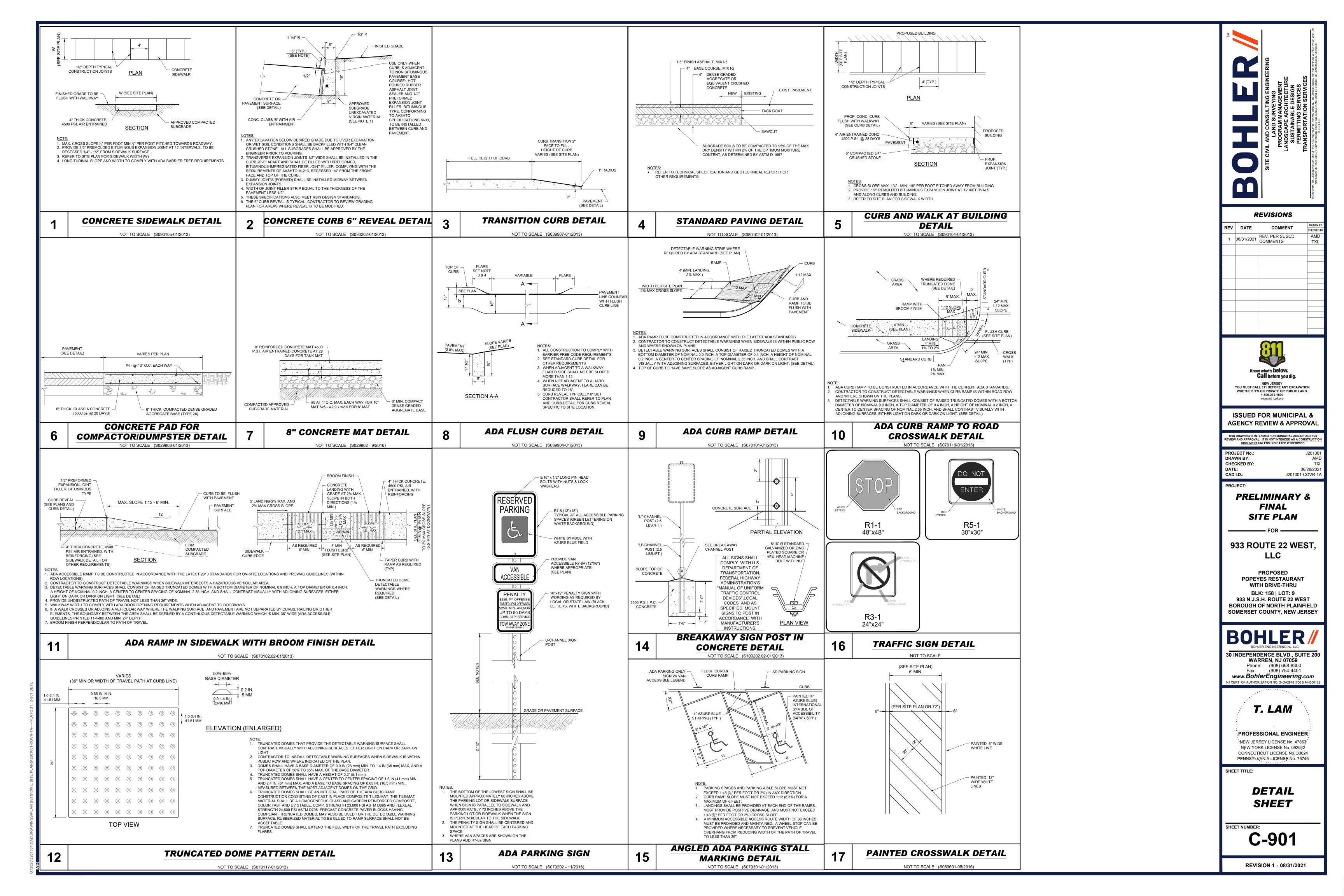
LIGHT POLE FOUNDATION DETAIL

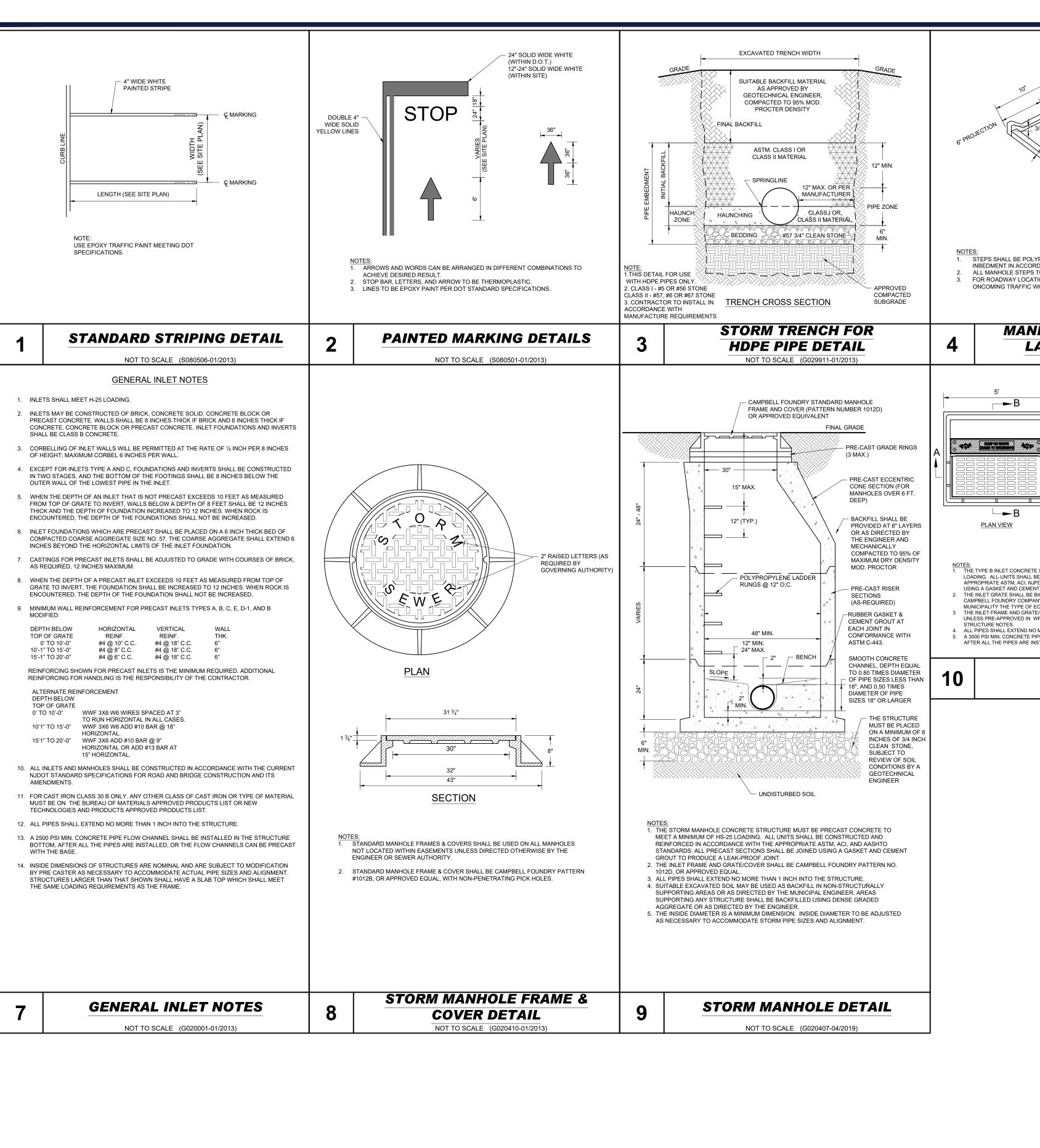
**ELEVATION VIEW** 

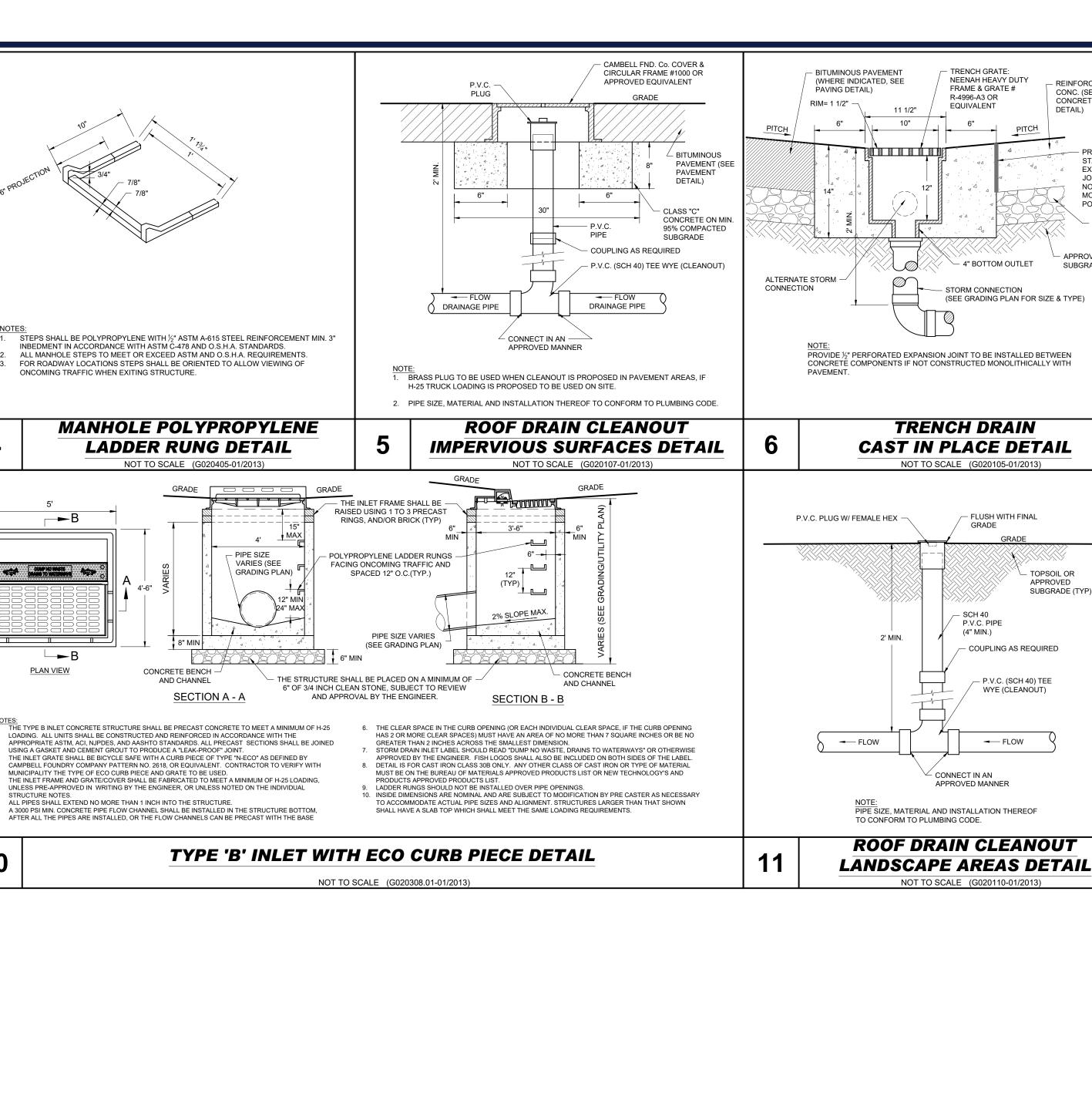
SEE SCHEDULE AND NOTES FOR ADDITIONAL INFORMATION

WIND PRESSURE = 30 PSF

NOT TO SCALE (I020101-01/2013)(MODIFIED)









REINFORCED

CONCRETE/PAVING

PROVIDE

JOINT IF

STANDARD

MONOLITHIC

COURSE

POURED.

APPROVED

SUBGRADE

TOPSOIL OR APPROVED

P.V.C. (SCH 40) TEE

WYE (CLEANOUT)

→ FLOW

SUBGRADE (TYP)

CONC. (SEE

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CAD I.D.:

J201001-COVR-1

PROJECT:

PRELIMINARY & FINAL SITE PLAN

**933 ROUTE 22 WEST,** 

PROPOSED POPEYES RESTAURANT

WITH DRIVE-THRU BLK: 158 | LOT: 9 933 N.J.S.H. ROUTE 22 WEST **BOROUGH OF NORTH PLAINFIELD** 

**SOMERSET COUNTY, NEW JERSEY** 

30 INDEPENDENCE BLVD., SUITE 200 **WARREN, NJ 07059** Phone: (908) 668-8300 Fax: (908) 754-4401 www.BohlerEngineering.com

NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH0001

T. LAM

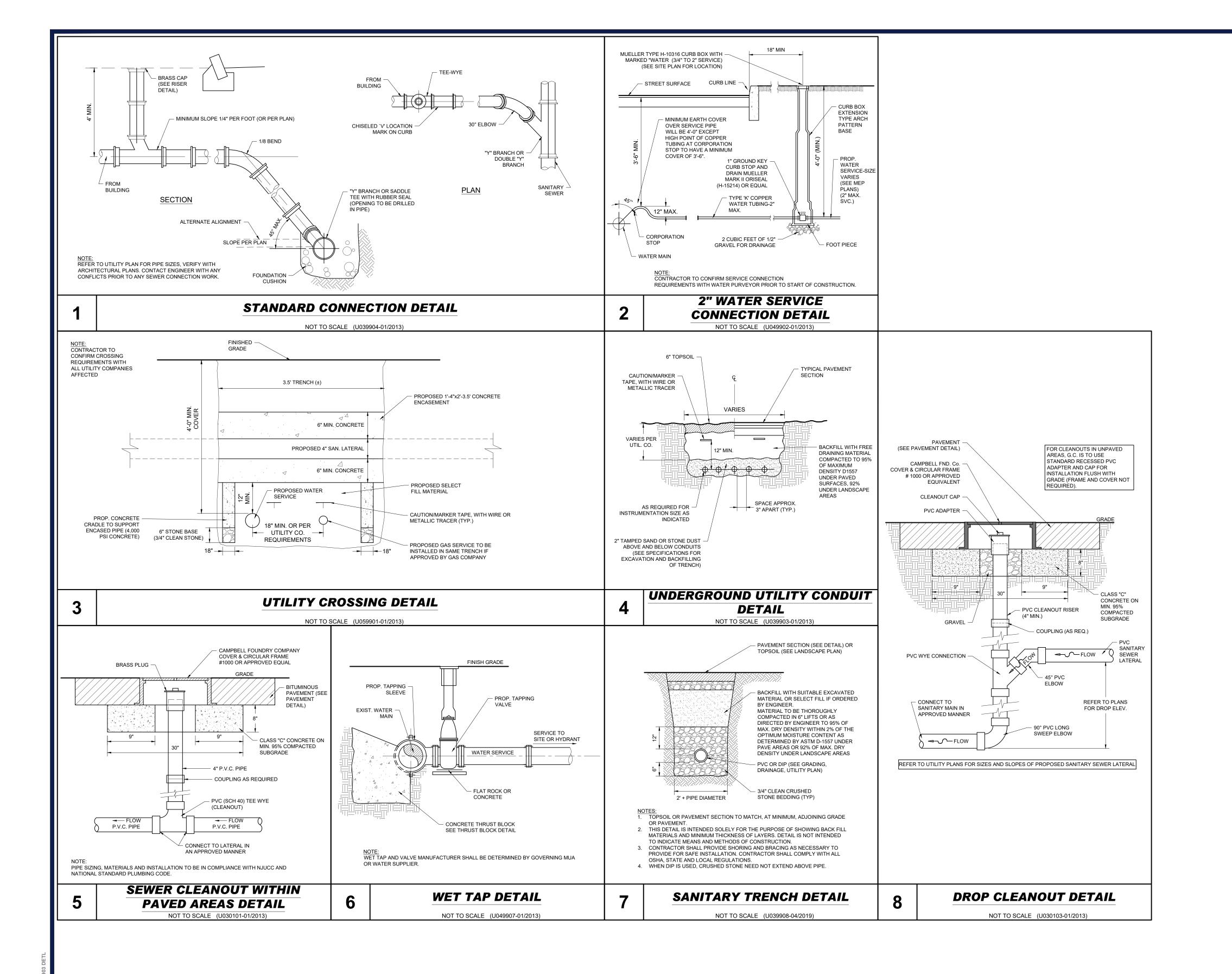
PROFESSIONAL ENGINEER: NEW JERSEY LICENSE No. 47863 NEW YORK LICENSE No. 092942

CONNECTICUT LICENSE No. 30024 PENNSYLVANIA LICENSE No. 76746

SHEET TITLE:

**DETAIL** SHEET

C-902





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PROJECT:

PRELIMINARY & FINAL SITE PLAN

**933 ROUTE 22 WEST,** 

PROPOSED POPEYES RESTAURANT WITH DRIVE-THRU BLK: 158 | LOT: 9 933 N.J.S.H. ROUTE 22 WEST BOROUGH OF NORTH PLAINFIELD

**SOMERSET COUNTY, NEW JERSEY** 

30 INDEPENDENCE BLVD., SUITE 200 **WARREN, NJ 07059** Phone: (908) 668-8300 www.BohlerEngineering.com NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH00012

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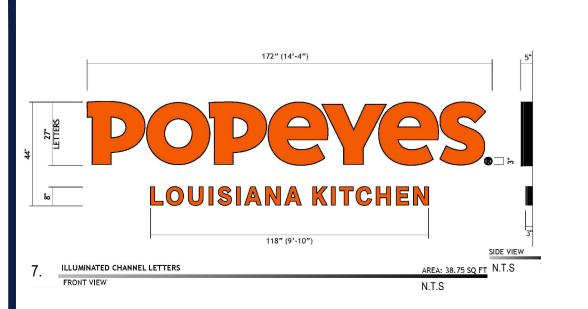
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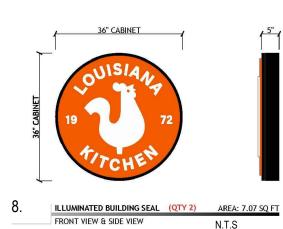
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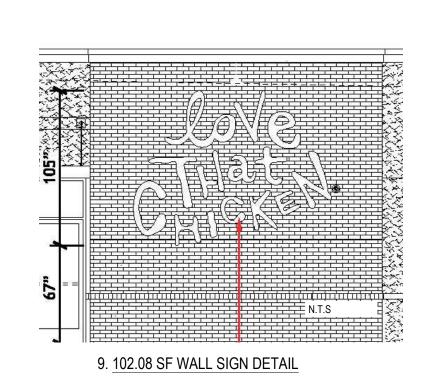
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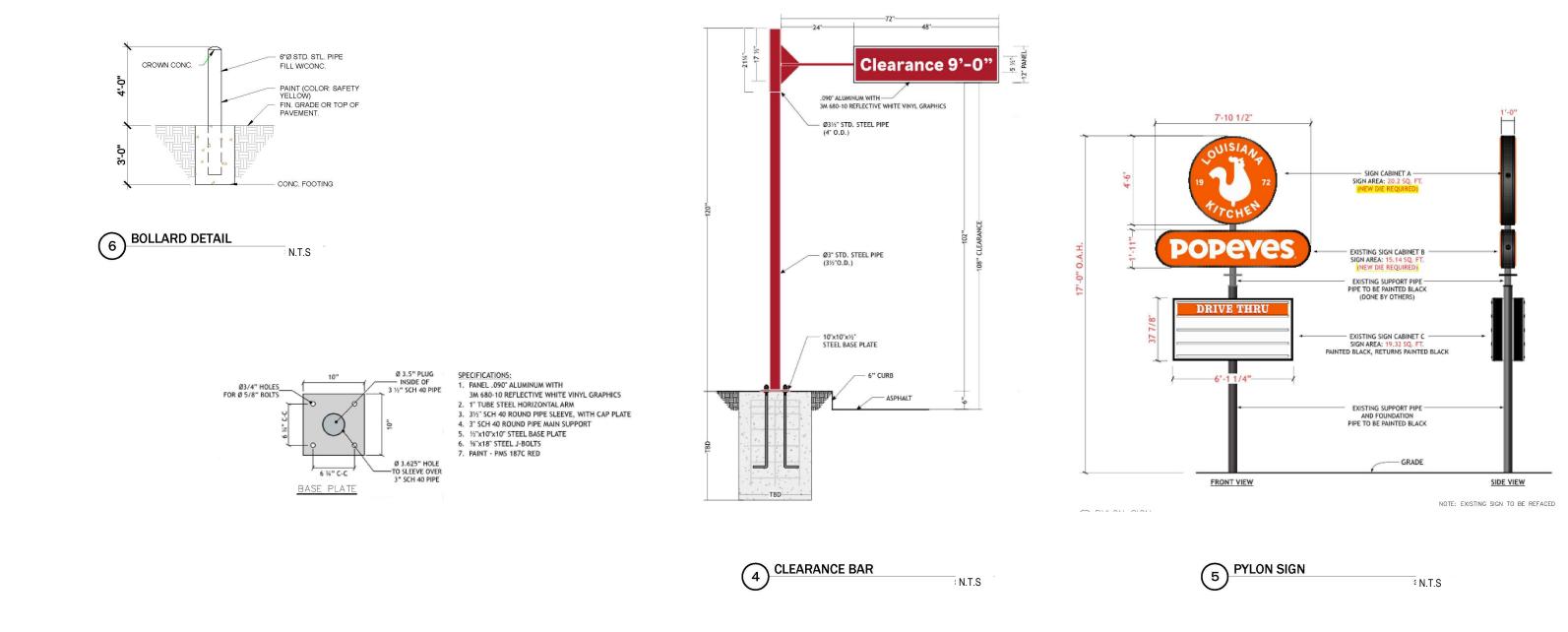
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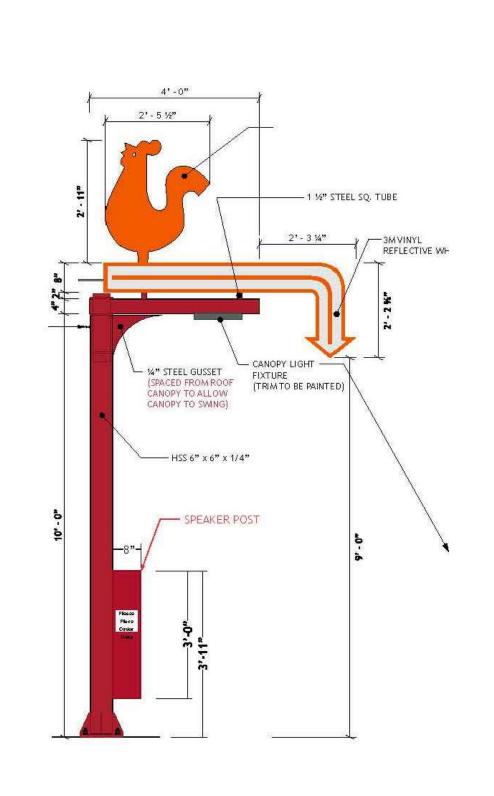
C-903







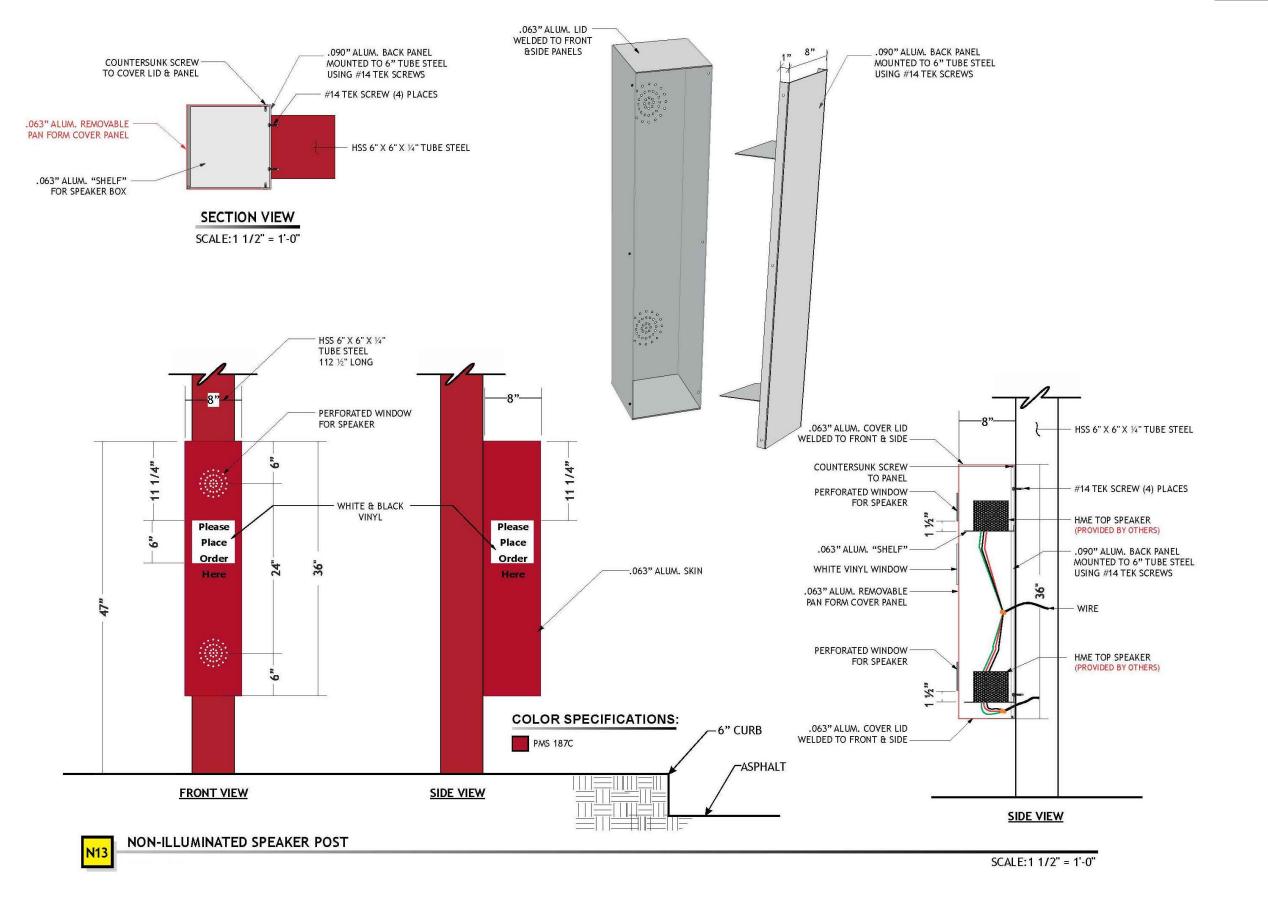


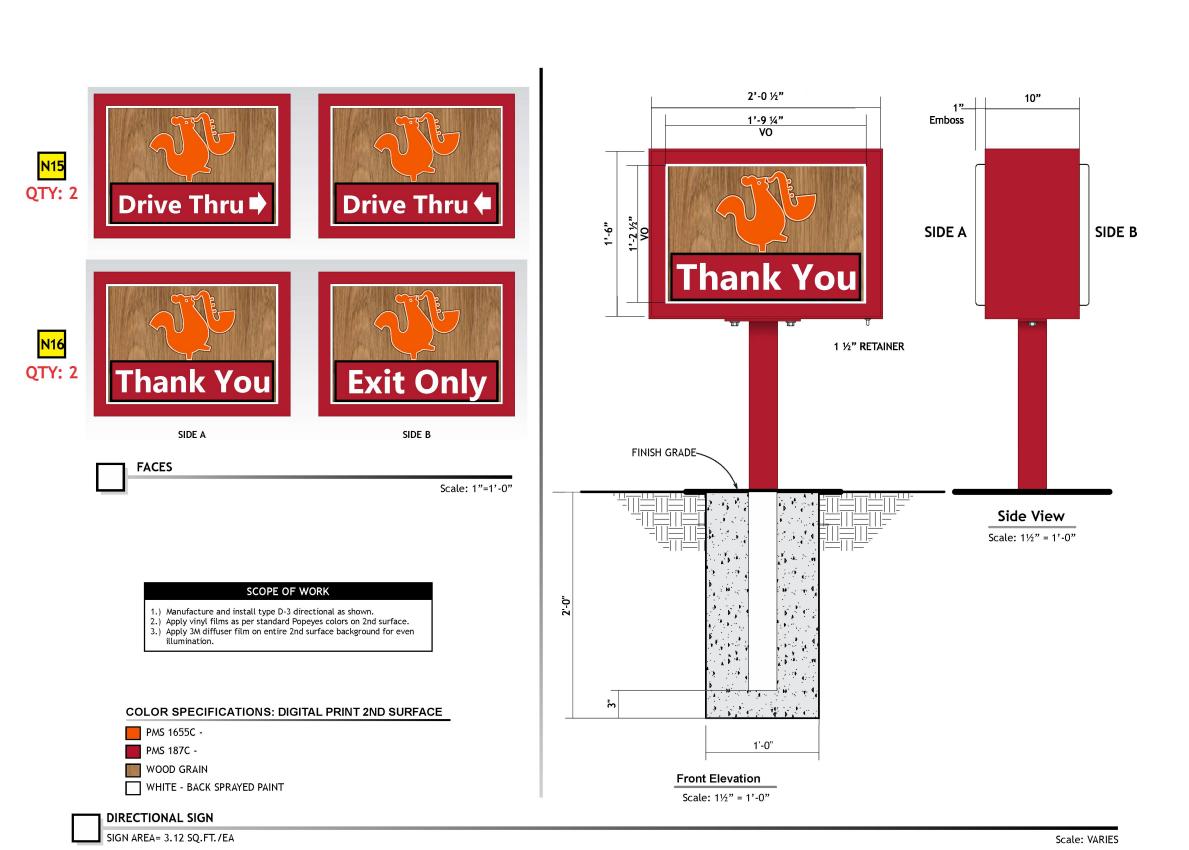


10. NEW DRIVE-THRU CANOPY

N.T.S

SIDE VIEW







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AMD

CHECKED BY:

TXL

DATE:

06/28/2021

CAD I.D.:

J201001-COVR-1A

PROJECT:

PRELIMINARY & FINAL SITE PLAN

----- FOR ------

933 ROUTE 22 WEST, LLC

PROPOSED
POPEYES RESTAURANT
WITH DRIVE-THRU
BLK: 158 | LOT: 9
933 N.J.S.H. ROUTE 22 WEST

BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY

BOHLER MINEERING NJ, LLC

30 INDEPENDENCE BLVD.: SUITE 20

30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
Phone: (908) 668-8300
Fax: (908) 754-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH000122

T. LAM

PROFESSIONAL ENGINEER

NEW JERSEY LICENSE No. 47863

NEW YORK LICENSE No. 092942

CONNECTICUT LICENSE No. 30024

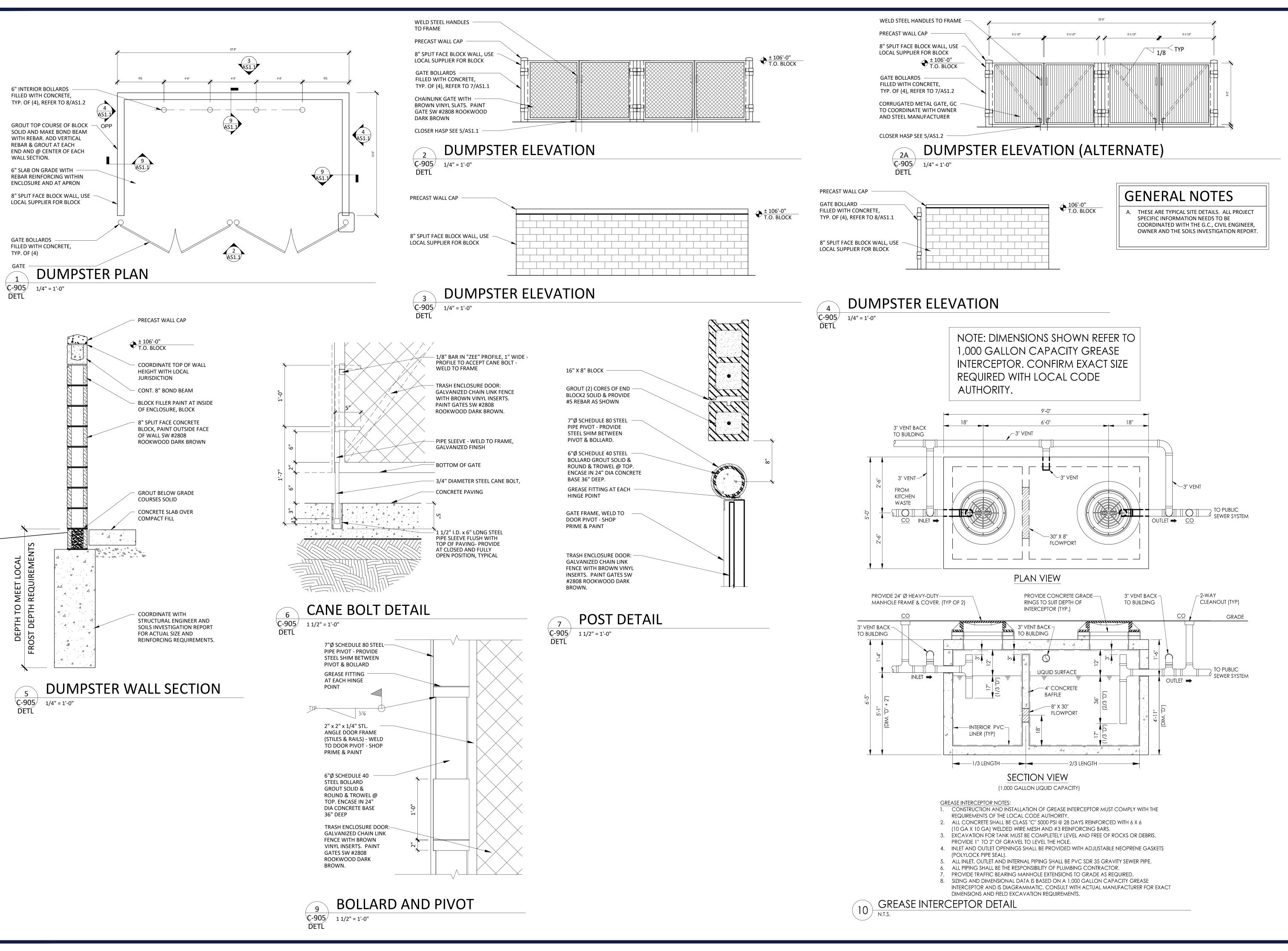
PENNSYLVANIA LICENSE No. 76746

PENNSYLVANIA LICENS
SHEET TITLE:

DETAIL SHEET

SHEET NUMBER:

C-904



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PRELIMINARY & FINAL

J201001-COVR-1

SITE PLAN

**933 ROUTE 22 WEST.** 

PROPOSED **POPEYES RESTAURANT** 

WITH DRIVE-THRU BLK: 158 | LOT: 9 933 N.J.S.H. ROUTE 22 WEST **BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY** 

30 INDEPENDENCE BLVD., SUITE 200 **WARREN, NJ 07059** Phone: (908) 668-8300 Fax: (908) 754-4401 www.BohlerEngineering.com NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH0001

T. LAM

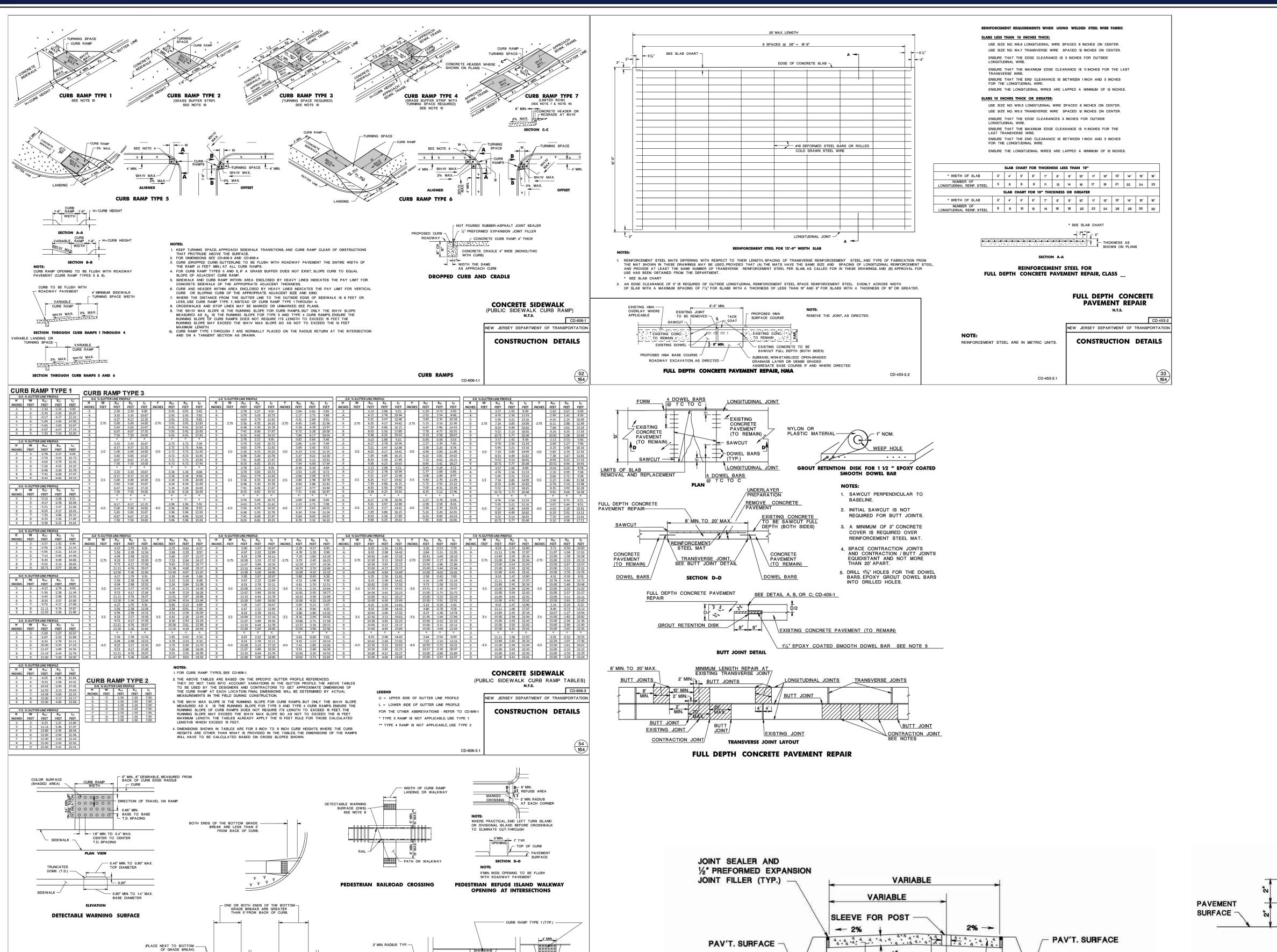
PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 47863

NEW YORK LICENSE No. 092942 CONNECTICUT LICENSE No. 30024 PENNSYLVANIA LICENSE No. 76746

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**DETAIL** SHEET

C-905



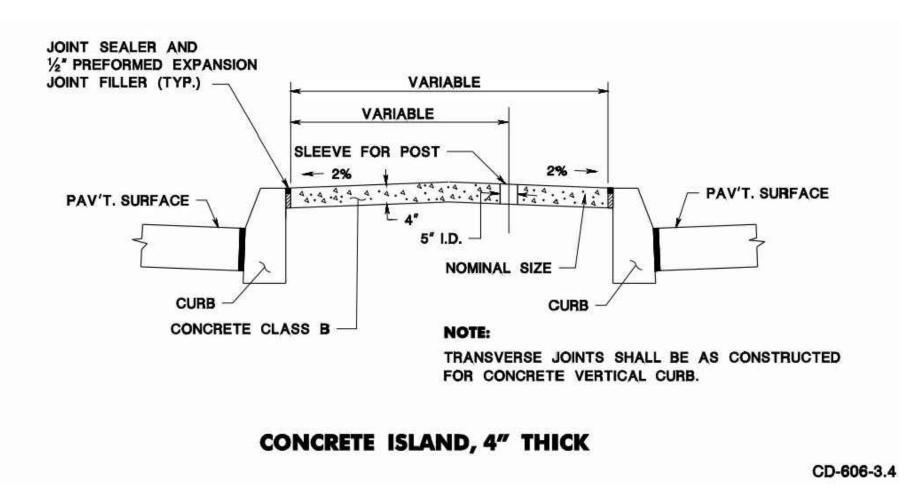
(SEE NOTE 4)

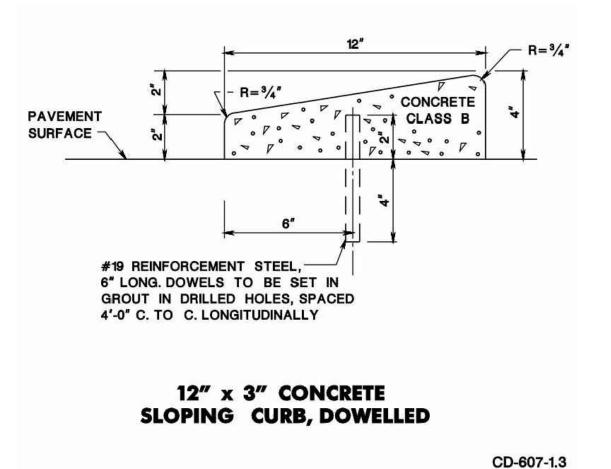
PEDESTRIAN REFUGE ISLAND

**DETECTABLE WARNING SURFACE** 

NEW JERSEY DEPARTMENT OF TRANSPORTATION

CONSTRUCTION DETAILS





TO CONSULTING ENGINEERING

SITE CIVIL AND C LAN PROGRA LANDSCA SUSTA PERMIT

**REVISIONS** 

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PRELIMINARY & FINAL SITE PLAN

SIIE PL

933 ROUTE 22 WEST,

PROPOSED POPEYES RESTAURANT WITH DRIVE-THRU

BLK: 158 | LOT: 9 933 N.J.S.H. ROUTE 22 WEST BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY

BOHLER MODILER MODILER ENGINEERING NJ, LLC

30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
Phone: (908) 668-8300
Fax: (908) 754-4401
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REVISION 1 - 08/31/2021

V CURB RAMP

PLACEMENT OF DETECTABLE WARNING SURFACE

FOR CURB RAMP TYPE 5 AND 6

NOTES:

1. KEEP TURNING SPACE, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP CLEAR OF OBSTRUCTIONS THAT PROTRUDE ABOVE THE SURFACE.

2. CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED, SEE PLANS.

3. FOR NARROW ISLAND WIDTH, SEE PEDESTRIAN REFUGE ISLAND WALKWAY OPENING AT INTERSECTIONS DETAIL.

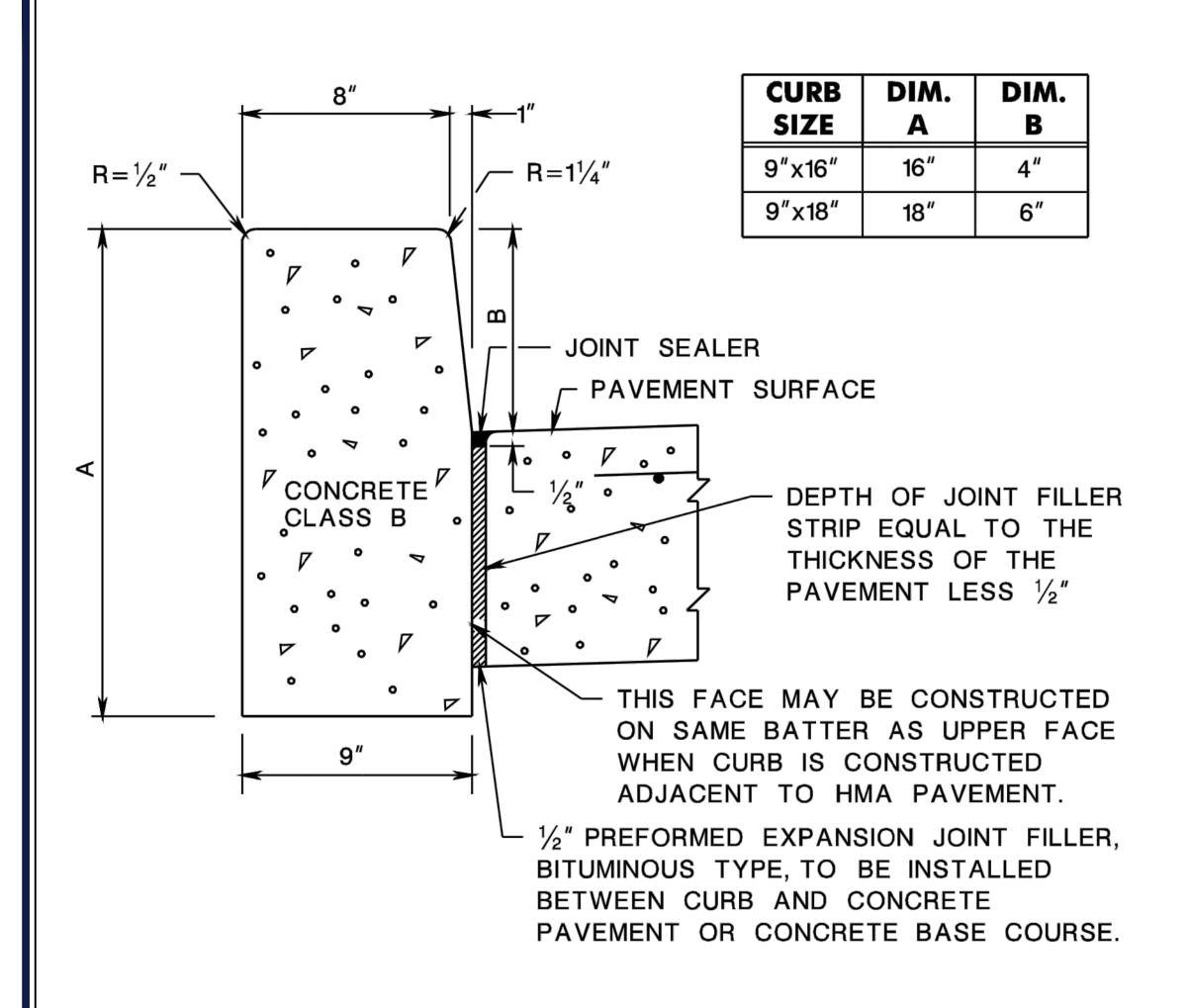
4. FOR MEDIUM AND LARGE ISLAND WIDTH, SEE CURB RAMP TYPE 1 ON CD-606-1.

5. CONSTRUCT CURB RAMP TYPES 1, 2, 3, 4, 8 7 PERPENDICULAR TO CURBLINE, AS SHOWN.

6. IF A CURB RAMP IS REQUIRED, THE LOCATION OF THE DETECTABLE WARNING SURFACE MUST BE AT THE BOTTOM OF THE RAMP AND WITHIN THE REQUIRED DISTANCE FROM THE RAIL.

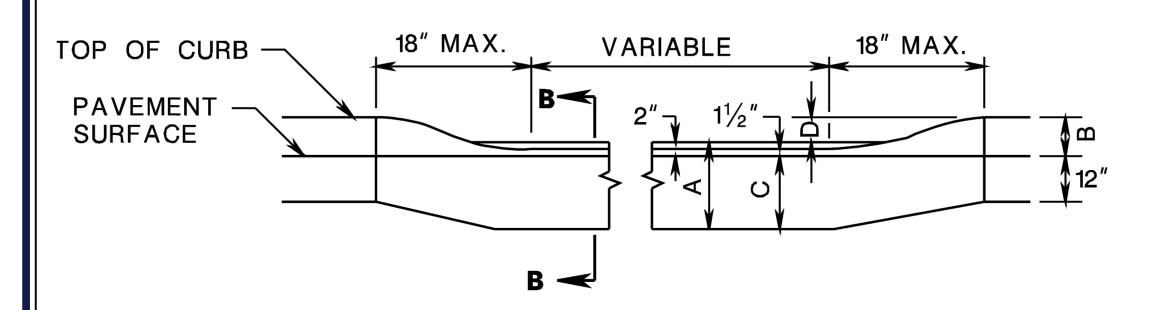
7. A STANDARD DETECTABLE WARNING (DWS) SURFACE IS NOT AVAILABLE TO FIT THIS APPLICATION, AND THEREFORE ONE WILL NEED TO BE CUSTOMIZED. THE DWS SHOULD COVER THE ENTIRE WIDTH OF THE RAMP. THE ROWS OF DOMES ON THE DWS SHOULD FOLLOW THE DIRECTION OF TRAVEL OF THE RAMP, SO PEDESTRIANS WHO USE MOBILE DEVICES CAN TRACK BETWEEN THE DOMES.

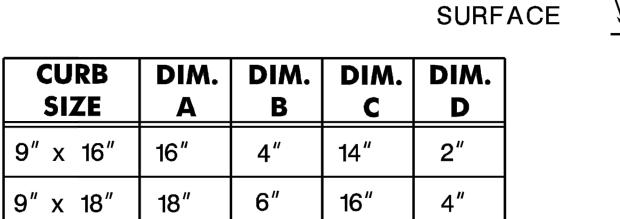
LOCATION OF CURB RAMP TYPES 1, 2, 3, 4, & 7

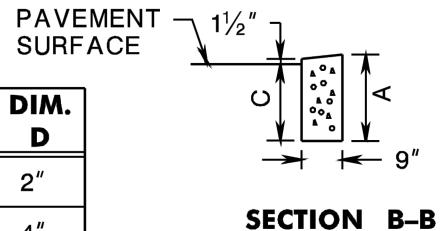


### CONCRETE VERTICAL CURB

CD-607-1.6

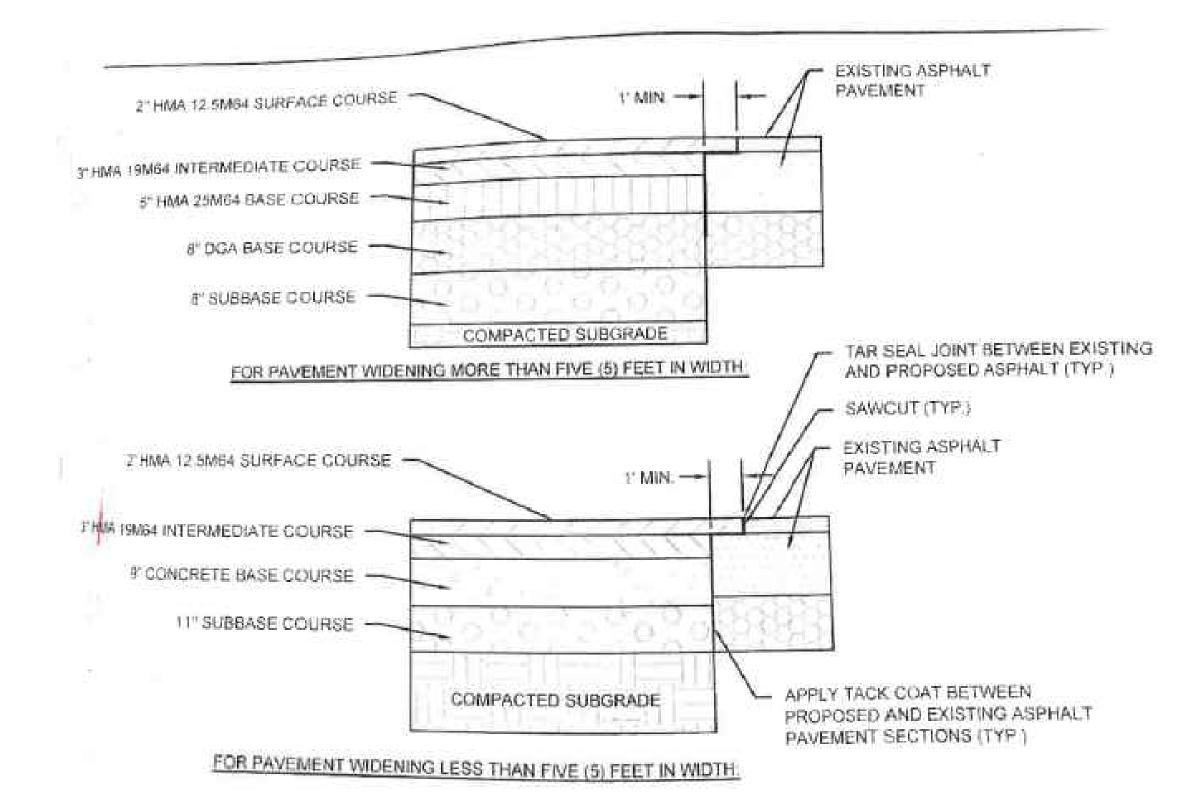






# METHOD OF DEPRESSING CURB AT DRIVEWAYS

CD-607-2.4



UNDERCUT SOFT SUBGRADE AREAS AND REPLACE WITH ADDITIONAL SUBBASE OR BORROW EXCAVATION.
DENSE GRADED AGGREGATE BASE COURSE AND SUBBASE SHOULD EXTEND A MINIMUM OF 3" BEYOND THE

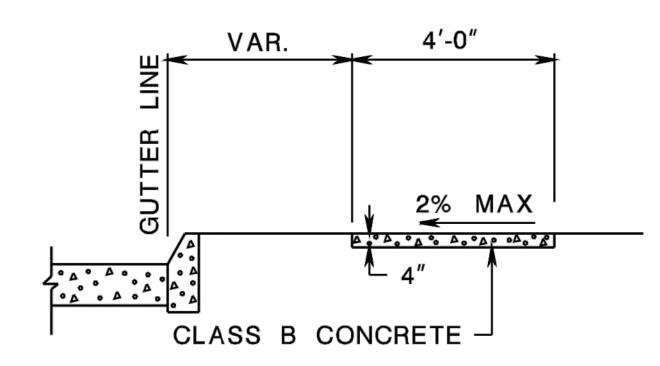
OUTER EDGE OF THE PROPOSED CURB.

SAWCUT AND APPLY TACK COAT TO EDGE OF EXISTING PAVEMENT PRIOR TO WIDENING.
THE LOCATIONS EXHIBITING MODERATE TO HIGH SEVERITY CRACKING, PATCHING, AND POTHOLES SHOULD BE REPAIRED (AFTER MILLIAND). REPAIRED (AFTER MILLING) IN ACCORDANCE WITH ITEM NO. 401021M OF NJ DEPARTMENT OF

TRANSPORTATION STANDARD SPECIFICATIONS

IF PAVEMENT CONSTRUCTION WILL ENCROACH IN AN EXISTING TRAVEL WAY, THEN RESURFACE THE FILL

# HMA PAVEMENT REPAIR DETAIL (NJDOT ROW)



# CONCRETE SIDEWALK, 4" THICK

CD-606-5.9

### **REVISIONS**

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SITE PLAN

**933 ROUTE 22 WEST.** 

PROPOSED **POPEYES RESTAURANT** 

BLK: 158 | LOT: 9 933 N.J.S.H. ROUTE 22 WEST **BOROUGH OF NORTH PLAINFIELD** SOMERSET COUNTY, NEW JERSEY

**BOHLER** 

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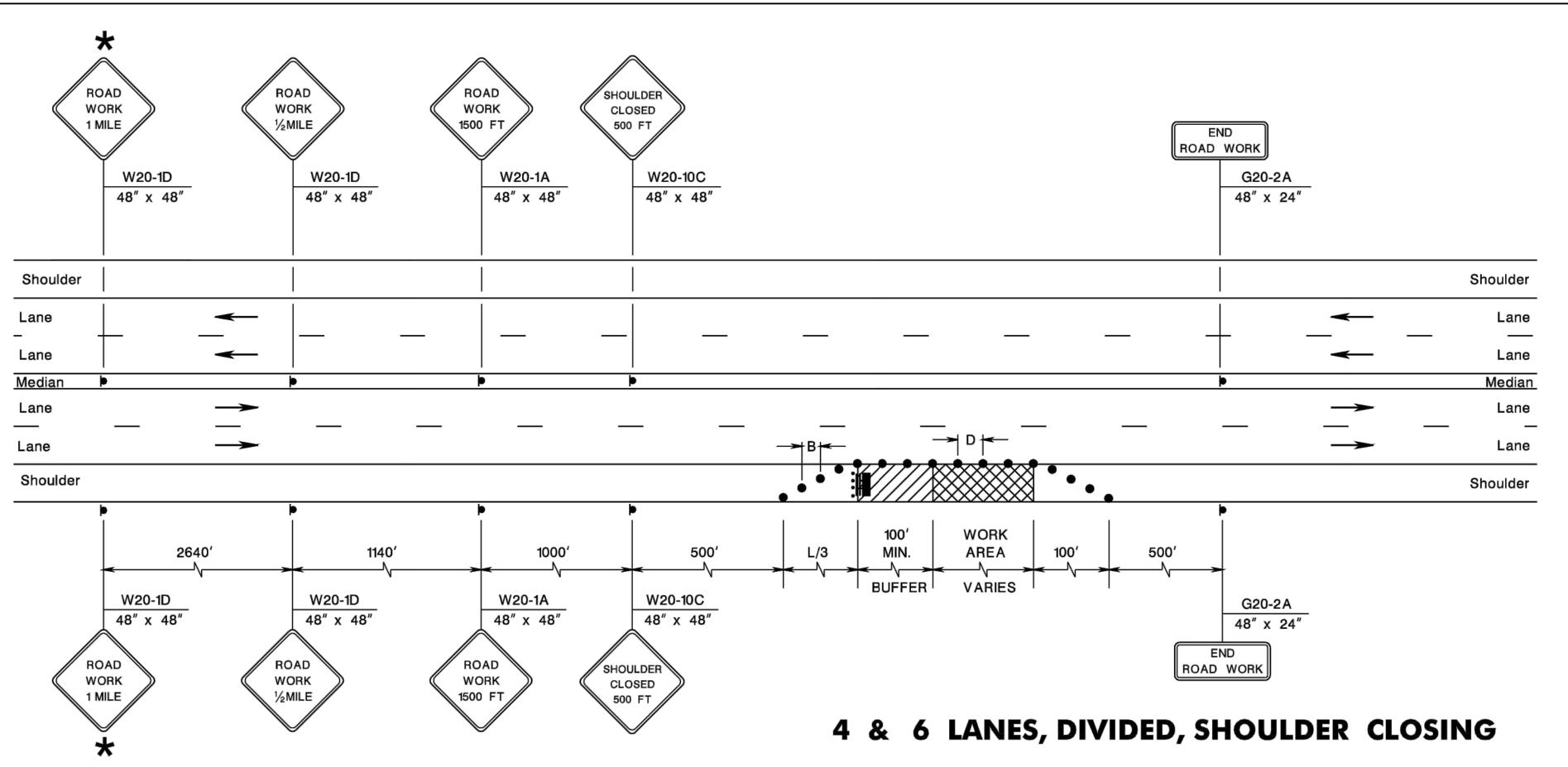
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**DETAIL** SHEET

C-907



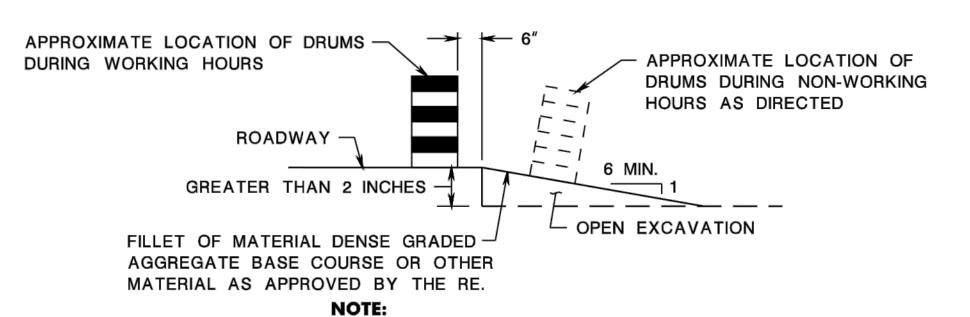
★ INSTALL THIS SIGN FOR ROADS WITH A POSTED SPEED LIMIT OF 45 M.P.H. OR GREATER UNLESS OTHERWISE DIRECTED BY THE RE. FOR ROADS WITH A SPEED LIMIT GREATER THAN 55 M.P.H., ALSO INSTALL A "ROAD WORK 2 MILES" SIGN 2 MILES IN ADVANCE OF LANE CLOSING UNLESS OTHERWISE DIRECTED BY THE RE.

### **NOTES:**

- IF MEDIAN IS NARROWER THAN WIDTH OF SIGN PLUS 2 FEET, OMIT MEDIAN SIGNING.
- 2. SEE RECOMMENDED TAPER LENGTH AND SPACING TABLE ON SHEET TCD-2 FOR VALUES OF L, B, AND D.

N.T.S.

## **LEGEND**



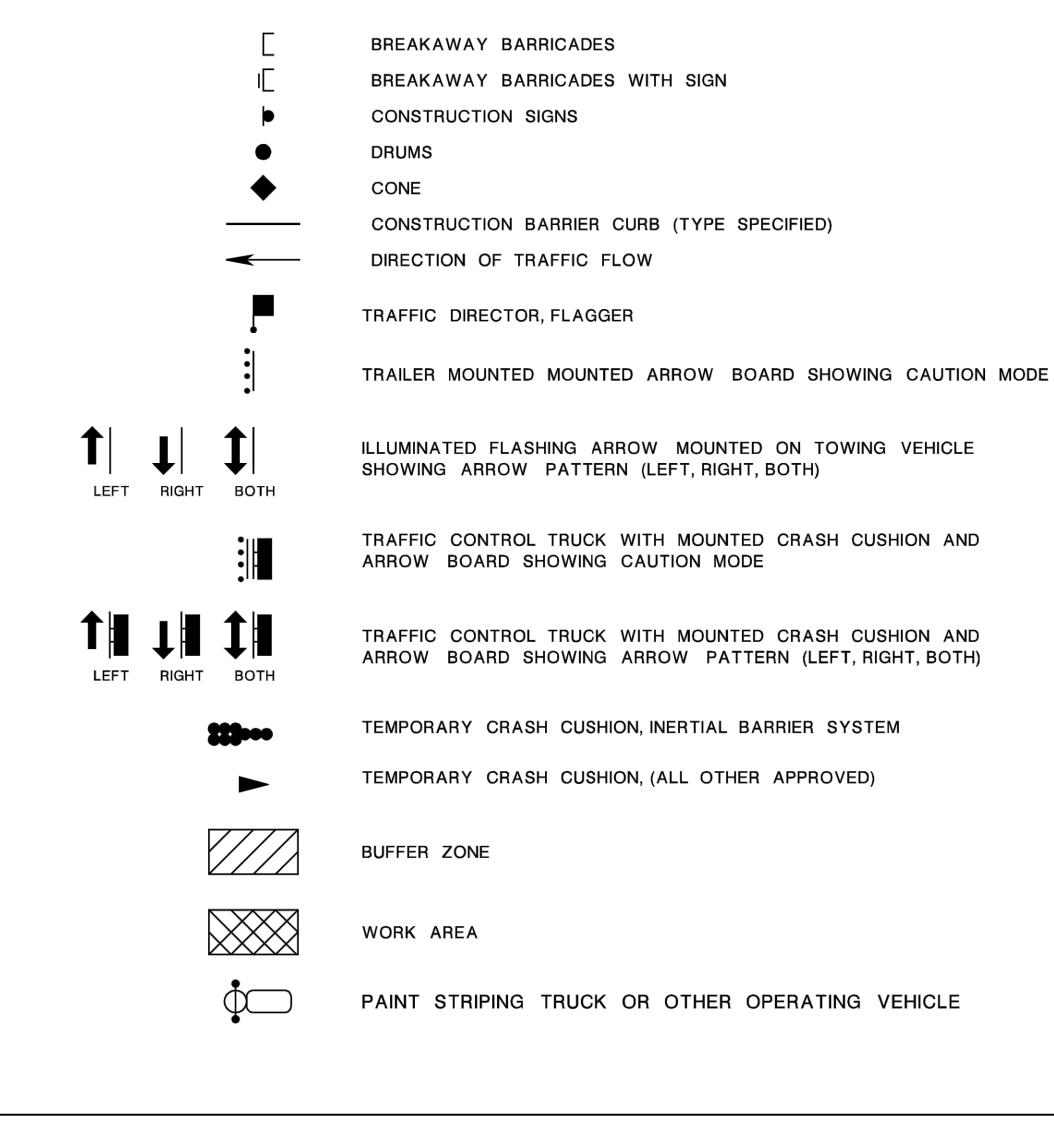
ESCAPE RAMPS MUST BE CONSTRUCTED AND MAINTAINED DURING NON-WORKING HOURS WHERE A VERTICAL DROP GREATER THAN 2 INCHES EXISTS ADJACENT TO TRAVELED LANE.

### ESCAPE RAMP DETAIL

REC	RECOMMENDED SPACING ALONG TANGENTS					
REGULATORY APPROACH SPEED OF TRAFFIC	MINIMUM TAPER RATIO IN LENGTH PER FOOT OF WIDTH	MINIMUM TAPER LENGTH L - FOR LANE WIDTHS		GTH ANE	MAXIMUM DEVICE (B) SPACING ALONG TAPERS IN FEET	MAXIMUM DEVICE (D) SPACING ALONG TANGENTS IN FEET
MILES /HOUR		10'	11′	12'		
25	10.5:1	105	115	125	25	50
30	15:1	150	165	180	30	60
35	20.5:1	205	225	245	35	70
40	27:1	270	300	325	40	80
45	45:1	450	495	540	45	90
50	50:1	500	550	600	50	100
55	55:1	550	605	660	55	110
60	60:1	600	660	720	60	120
65	65:1	650	715	780	65	130

NOTE:

THE MAXIMUM DEVICE SPACING ALONG CURVES IS DEFINED FOR TAPERS (B) IN THE ABOVE TABLE.



SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

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 J201001-COVR-1A

PROJECT:

PRELIMINARY & FINAL SITE PLAN

----- FOR ------

933 ROUTE 22 WEST, LLC

PROPOSED
POPEYES RESTAURANT
WITH DRIVE-THRU
BLK: 158 | LOT: 9

933 N.J.S.H. ROUTE 22 WEST BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY

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